

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO.: E24-014
DATE: APR 11 2024
BY: ISA

**DEPARTMENT OF REGULATORY
AND ECONOMIC RESOURCES**

APPLICATION FOR ENTRANCE FEATURE

DEVELOPMENT SERVICES DIVISION
111 N.W. 1ST STREET, 11TH FLOOR
MIAMI, FL 33128
PH. (305) 375-2141

E2024000014

Entrance Feature No.: _____ Tentative No.: _____

Plat Name _____

Sec. _____ Twp. _____ Rge. _____

Property Location: 8700 SW 112 Street

Zoning: EU-1 District: _____

Owner: Chabad Center of Kendall, Inc.

Owner's Email: erportilla@gunster.com

Owner's Address: c/o Elinette Ruiz-Diaz de la Portilla, 600 Brickell Ave, Ste 3500, Miami, FL 33131

Owner's Phone: 305-376-6000

Contact person: Elinette Ruiz-Diaz de la Portilla

Contact's Email: erportilla@gunster.com

Contact's Address: c/o Elinette Ruiz-Diaz de la Portilla, 600 Brickell Ave, Ste 3500, Miami, FL 33131

Contact's Phone: 305-376-6000

Please note that this application must be submitted to the Department of Regulatory and Economic Resources on the 11th floor with the processing check made payable to the "Miami-Dade County".

FOR OFFICIAL USE ONLY

Check No: _____

Bank: _____

Date received: _____

RECEIVED

MIAMI-DADE COUNTY **ZONING APPLICATION FOR ADMINISTRATIVE**
PROCESS NO.: E24-014 **APPROVAL OF ENTRANCE FEATURE**
DATE: APR 11 2024
BY: ISA

MIAMI-DADE COUNTY

E2024000014

Sec. _____ Twp. _____ Rge. _____

Fee: _____

FOLIO# 30-5009-000-1130 and 30-5009-003-0040

Date Received Stamp

This application with all required supplemental data, information and fee must be completed in accordance with the attached "INSTRUCTIONS FOR FILING APPLICATION FOR ENTRANCE FEATURE" and returned to the MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES, the Zoning Hearings Section.

TYPE OR PRINT LEGIBLY ALL INFORMATION ON APPLICATION:

1) Applicant Chabad Center of Kendall, Inc. Phone 305-376-6000
Mailing Address c/o Elinette Ruiz-Diaz de la Portilla
600 Brickell Ave, Ste 3500 City Miami State FL Zip 33131
Email Address erportilla@gunster.com

2) Owner of Property Chabad Center of Kendall, Inc. Phone _____
Mailing Address c/o Elinette Ruiz-Diaz de la Portilla
600 Brickell Ave, Ste 3500 City Miami State FL Zip 33131
Email Address erportilla@gunster.com

3) Contact Person Elinette Ruiz-Diaz de la Portilla Phone 305-376-6000
Mailing Address 600 Brickell Avenue, Ste 3500 City Miami State FL Zip 33131
Email Address erportilla@gunster.com

4) LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THE APPLICATION:

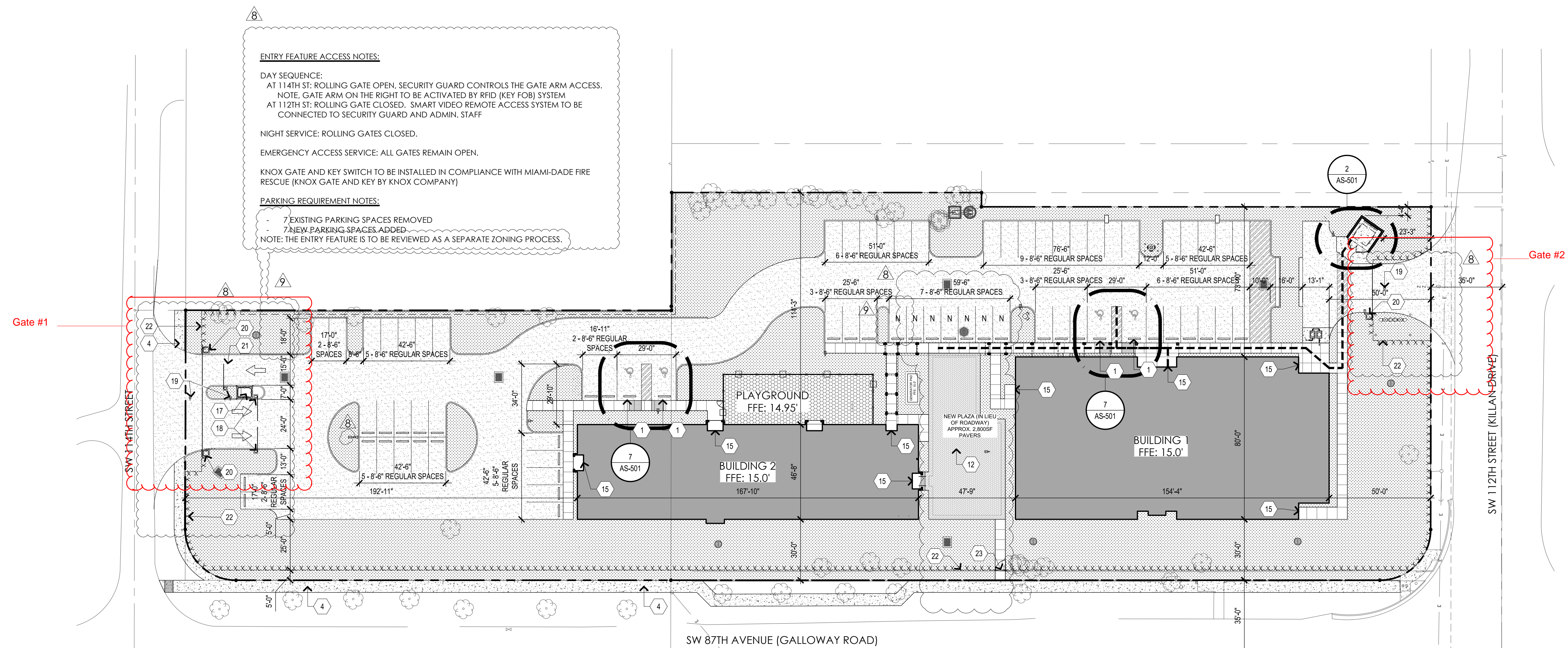
Please see attached Exhibit "A."

5) SIZE OF PROPERTY: 2.34 Acres x 101,800 SF

6) Address or location of subject property 8700 SW 112 Street

7) Present Zoning Classification(s) EU-1

8) Is this Entrance Feature being requested as a result of a violation notice or summons? No



**NEW CONSTRUCTION PLANS FOR:
 CHABAD KENDALL & PINECREST**
 8700 SW 112 Street
 MIAMI, FL 33176
 CLIENT: CHABAD CENTER OF KENDALL INC

REV	DATE	DESCRIPTION
1	09/25/2020	BUILDING DEPT. COMMENTS
2	11/02/2020	BUILDING DEPT. COMMENTS
3	12/15/2020	BUILDING DEPT. COMMENTS
4	03/10/2021	FPOT COMMENTS
5	08/01/2022	OWNER REVISION
6	03/17/2023	OWNER REVISION
7	06/16/2023	BUILDING DEPT. COMMENTS
8	09/08/2023	ENTRY REVISION
9	11/29/2023	RESPONSE TO COUNTY COMMENTS

2 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30'

- | | |
|--|---|
| 1 PROVIDE ACCESSIBLE PARKING SIGNAGE AT EACH ACCESSIBLE PARKING SPACE. SEE DETAIL 03/AS-501. | 9 NEW ACCESSIBLE RAISED RAMP LANDING. ACCESSIBLE ROUTE SLOPE NOT STEEPER THAN 1:20, 1.48 MAX. CROSS SLOPE - FBCA 403.3 |
| 2 MILL AND REPLACE ASPHALT PAVING. PROVIDE NEW STRIPING PER PLAN. | 10 EXISTING TO REMAIN SIDEWALK. |
| 3 NEW "D" CONCRETE CURB - SEE DETAIL 02/AS-501. | 11 NEW CONCRETE ORNAMENTAL POLE WITH LED LIGHT FIXTURE (VLX-1T1 96LC 35KUNV) BY VISIONAIRE LIGHTING. |
| 4 NEW CONCRETE SIDEWALK FLUSH WITH ASPHALT. SEE DETAIL 05/AS-501. | 12 NEW CONCRETE PAVERS. |
| 5 RUBBER PARKING BUMPERS - NEW 6" RECYCLED RUBBER PARKING BLOCK | 13 NEW PLANTING AREA. |
| 6 PAINTED PAVING MARKINGS. SEE DETAIL 01/AS-501. | 14 NEW PVC FENCING - SEE DETAIL 07/AS-501. |
| 7 TYPICAL ACCESSIBLE PARKING SPACE WITH ACCESS AISLE PAVEMENT MARKING. SEE DETAIL 01/AS-501. | 15 EXIT DISCHARGE FROM THE BUILDING TO A PUBLIC WAY, PARKING LOT, OR STREET. EXTERIOR LANDING SHALL BE A HARD SURFACE THAT IS MIN. 44" WIDE. REFER TO DETAIL 76-905 FOR ELEVATION CHANGE. |
| 8 NEW ACCESSIBLE CURB RAMP FROM NEW SIDEWALK TO EXISTING RAISED SIDEWALK. SLOPE MAX 1:12. | 16 NEW GENERATOR PAD - FFE 15.0' |

- | |
|---|
| 17 NEW 5' X 7' MIAMI-DADE APPROVED ALUMINUM GUARD HOUSE WITH SLIDING DOOR BY MARDAN, ON 6' X 8' CONCRETE PAD. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS. |
| 18 NEW LIFT MASTER HIGH-TRAFFIC DC BARRIER GATE ARM MODEL "MAT" W/ 2" X 2" X 2" PEDESTAL. CONNECT TO SMART INTERCOM REMOTE ACCESS SYSTEM AND PROVIDE RFID FOB CONTROL. FULL-TIME SECURITY GUARD ON STAFF DURING ANY TIME THAT GATE ARM IS CLOSED. |
| 19 NEW "CAPVIM" SMART VIDEO INTERCOM BY LIFTMASTER FOR AFTER HOURS ENTRY ON PED-42" PEDESTAL AT 114TH ST AND PED-72" AT 112TH ST. PROVIDE KNOX BOX FOR FIRE DEPT. EMERGENCY ENTRY |
| 20 NEW LIFT MASTER SLIDING GATE MOTOR AND ALUMINUM SLIDING GATE. CONNECT TO SMART INTERCOM REMOTE ACCESS SYSTEM AND PROVIDE KNOX BOX FOR FIRE DEPT. EMERGENCY ENTRY. GATES TO BE OPEN DURING ALL OPERATING HOURS. |
| 21 PROVIDE MAGNETIC LOOP FOR AUTOMATIC OPENING OF GATE ARM AND SLIDING GATE FOR EXITING VEHICLES |
| 22 NEW 6" TALL ALUMINUM FENCE UNDER SEPARATE PERMIT. |
| 23 NEW 5' ALUMINUM PEDESTRIAN GATE UNDER SEPARATE PERMIT. |

CHABAD KENDALL BUILDING ONE

ROOM OR SPACE DESIGNATION	GROSS SQUARE FOOTAGE
SANCTUARY / SOCIAL HALL	4,476
OFFICES / MEETING ROOMS	2,480
MIKVAH	510
KITCHEN	695
CIRCULATION / SUPPORT	2,650
EXT./INT. WALL THICKNESS	1,139
TOTAL	11,950

CHABAD KENDALL BUILDING TWO

ROOM OR SPACE DESIGNATION	GROSS SQUARE FOOTAGE
CLASSROOMS	4,555
OFFICE	264
CIRCULATION / SUPPORT	2,020
EXT./INT. WALL THICKNESS	1,066
TOTAL	7,905

CHABAD KENDALL PARKING CALCULATIONS

TYPE OF USE AND CODE REFERENCE	RATIO	REQUIRED	PROVIDED
CHURCH - SECTION 33-124 (c)	1 SPACE PER 100 SQ. FT. OF MAIN AUDITORIUM (TOTAL = 4,476 SQ.FT.)	45	
SCHOOLS - SECTION 33-124 (f-1)	1.25% OF COMBINED TOTAL PERSONNEL (2 STAFF X 3 CLASSROOMS = 6) (1 STAFF X 4 CLASSROOMS = 4)	13	
OFFICE - SECTION 33-124 (m)	1 SPACE PER 300 SQ.FT. OF GROSS AREA (2,871 SQ.FT. IN BUILDING 1 + 264 SQ.FT. BUILDING 2 = 3,135)	11	
TOTAL		69	69

NOTE: BUILDINGS AND DUMPSTER ENCLOSURE WILL BE UNDER SEPARATE PROCESS NUMBERS

NOTE: THIS PROPERTY IS TIED TO ZONING HEARING PLAN M201800028

NOTE: KITCHEN WILL BE USED FOR BOTH THE SCHOOL AND HOUSE OF WORSHIP

DESIGN DELIVERABLE: PERMIT SET
 ISSUE DATE: 9/13/19

PROJECT NUMBER: 1068-100419

DRAWN BY: AG

CHECKED BY:

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ARCHITECTURAL SITE PLAN

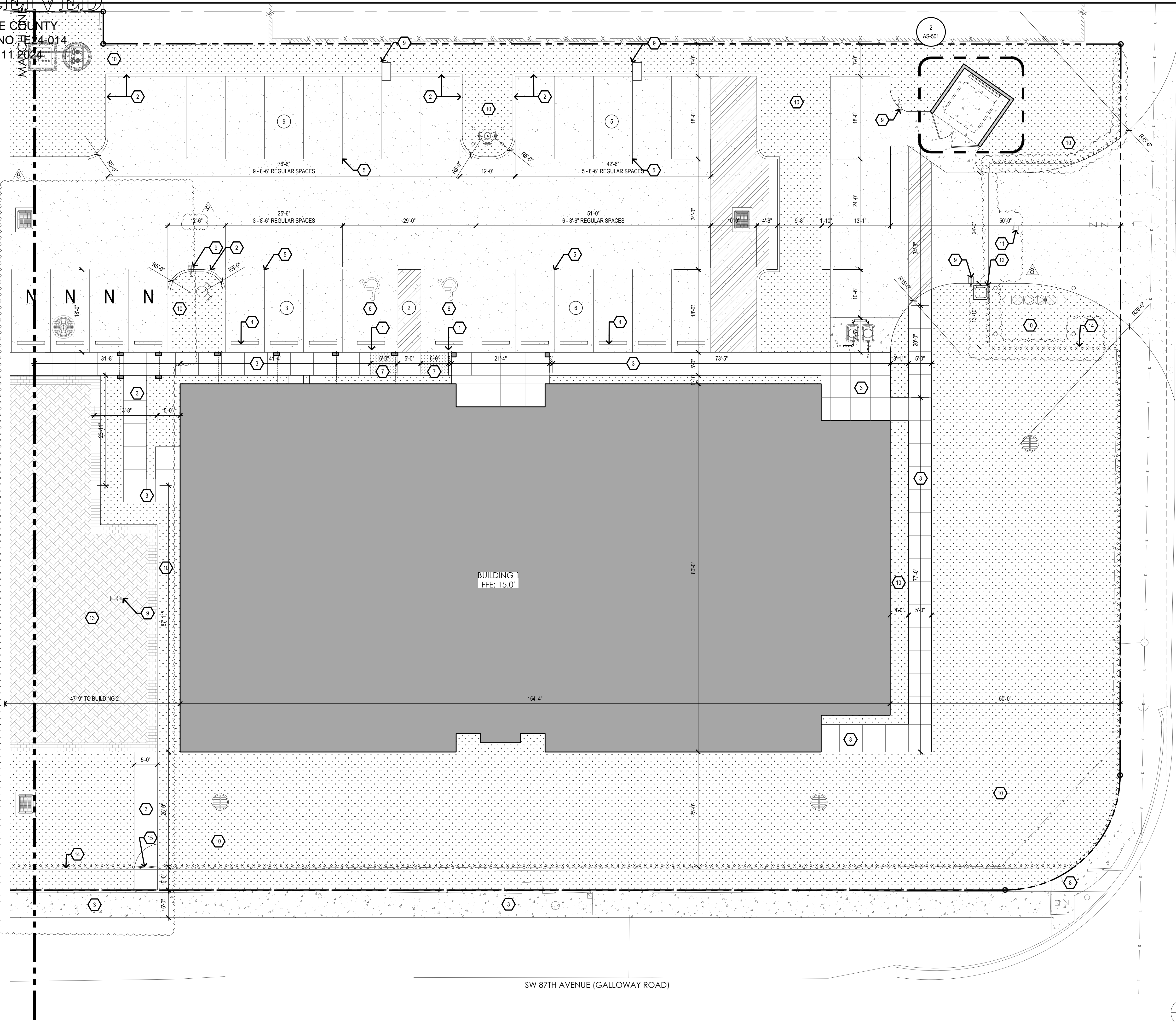
SHEET NUMBER:

AS-101

1 ARCHITECTURAL SITE PLAN NOTES

RECEIVED

MIAMI-DADE COUNTY
PROCESS NO. FE 24-014
DATE: APR 11 2024
BY: ISA



SW 112TH STREET (KILLAN DRIVE)

SW 87TH AVENUE (GALLOWAY ROAD)

- 1 PROVIDE ACCESSIBLE PARKING SIGNAGE AT EACH ACCESSIBLE PARKING SPACE. SEE DETAIL 03/AS-501.
- 2 NEW "D" CONCRETE CURB - SEE DETAIL 04/AS-501.
- 3 NEW CONCRETE SIDEWALK. SEE DETAIL 05/AS-501.
- 4 RUBBER PARKING BUMPERS - NEW 6" RECYCLED RUBBER PARKING BLOCK
- 5 PAINTED PAVING MARKINGS. SEE DETAIL 07/AS-501.
- 6 TYPICAL ACCESSIBLE PARKING SPACE WITH ACCESS AISLE PAVEMENT MARKING. SEE DETAIL 07/AS-501.
- 7 NEW ACCESSIBLE CURB RAMP. SLOPE MAX 1:12.
- 8 EXISTING TO REMAIN SIDEWALK.
- 9 NEW CONCRETE ORNAMENTAL POLE WITH LED LIGHT FIXTURE (VLX-111 96LC 35KUNV) BY VISIONAIRE LIGHTING.
- 10 NEW PLANTING AREA.
- 11 NEW "CAPXM" SMART VIDEO INTERCOM BY LIFTMASTER FOR AFTER HOURS ENTRY ON PED-42" PEDESTAL AT 114TH ST AND PED-72" AT 112TH ST. PROVIDE KNOX BOX FOR FIRE DEPT. EMERGENCY ENTRY
- 12 NEW LIFT MASTER SLIDING GATE MOTOR AND ALUMINUM SLIDING GATE. CONNECT TO SMART INTERCOM REMOTE ACCESS SYSTEM AND PROVIDE KNOX BOX FOR FIRE DEPT. EMERGENCY ENTRY. GATES TO BE OPEN DURING ALL OPERATING HOURS.
- 13 NEW CONCRETE PAVERS
- 14 NEW 6' TALL ALUMINUM FENCE UNDER SEPARATE PERMIT.
- 15 NEW 5' ALUMINUM PEDESTRIAN GATE UNDER SEPARATE PERMIT.

REV	DATE	DESCRIPTION
1	09/25/2020	BUILDING DEPT. COMMENTS
2	11/02/2020	BUILDING DEPT. COMMENTS
3	12/15/2020	BUILDING DEPT. COMMENTS
4	03/10/2021	FPOT COMMENTS
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6	03/17/2023	OWNER REVISION
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9	11/29/2023	RESPONSE TO COUNTY COMMENTS

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CHECKED BY:

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SHEET TITLE:
ENLARGED ARCHITECTURAL SITE PLAN NORTH SECTION

SHEET NUMBER:
AS-401

SRS
SYNALOVSKI ROMANIK SAYE
Architecture • Planning • Interior Design

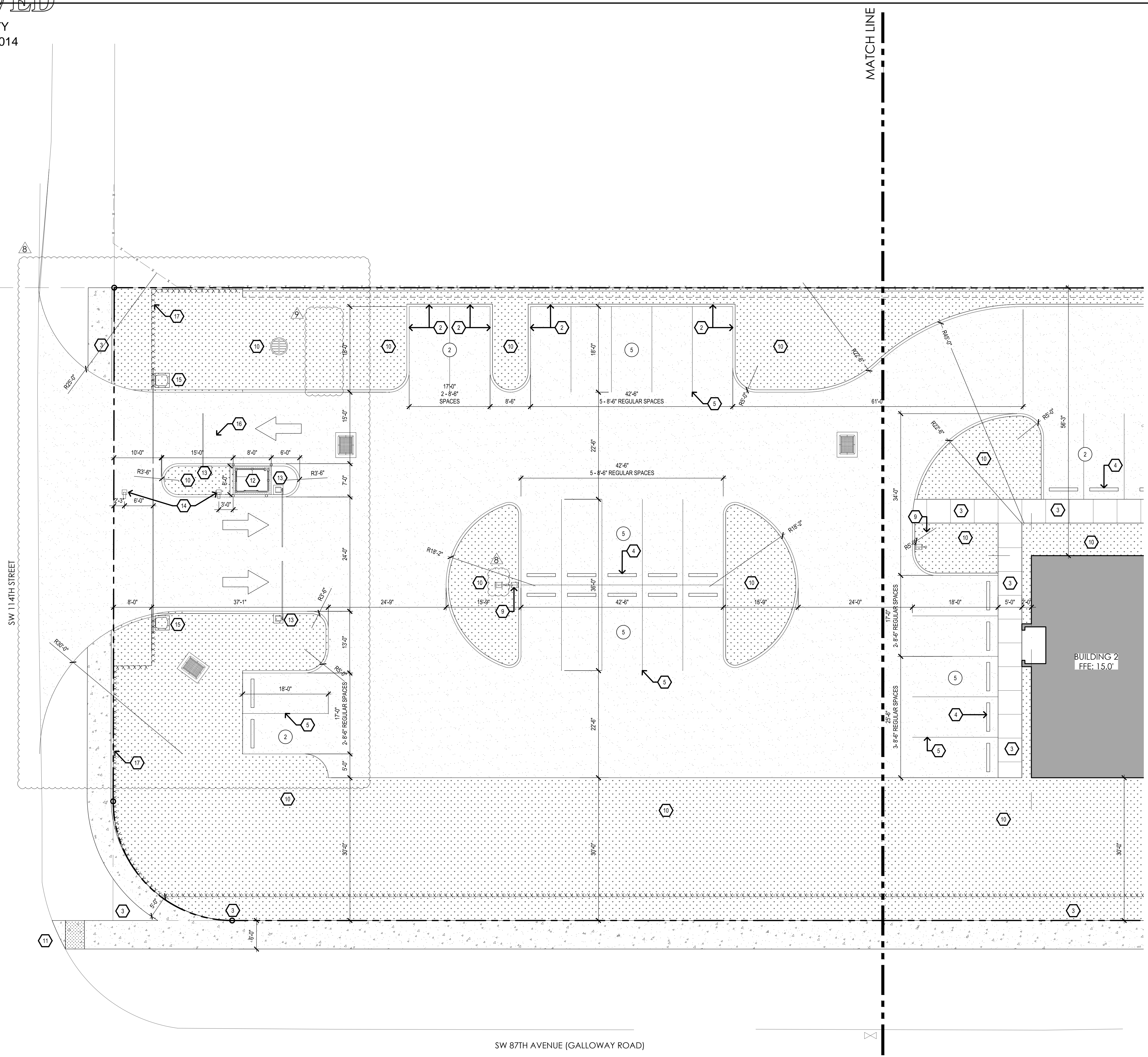
1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.synalovski.com

Manuel Synalovski, AIA
STATE OF FLORIDA
MANUEL SYNALOVSKI
AR0011828
REGISTERED ARCHITECT
LICENSE NO. AA26001863

**NEW CONSTRUCTION PLANS FOR:
CHABAD KENDALL & PINECREST**
8700 SW 112 Street
MIAMI, FL 33176

CLIENT: CHABAD CENTER OF KENDALL INC

**NEW CONSTRUCTION PLANS FOR:
CHABAD KENDALL & PINECREST**
8700 SW 112 Street
MIAMI, FL 33176
CLIENT: CHABAD CENTER OF KENDALL INC



- 1 PROVIDE ACCESSIBLE PARKING SIGNAGE AT EACH ACCESSIBLE PARKING SPACE. SEE DETAIL 03/AS-501.
- 2 NEW 1" D" CONCRETE CURB - SEE DETAIL 04/AS-501.
- 3 NEW CONCRETE SIDEWALK. SEE DETAIL 05/AS-501.
- 4 RUBBER PARKING BUMPERS - NEW 6" RECYCLED RUBBER PARKING BLOCK
- 5 PAINTED PAVING MARKINGS. SEE DETAIL 07/AS-501.
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- 9 NEW CONCRETE ORNAMENTAL POLE WITH LED LIGHT FIXTURE (VLX-1T1 96LC 35KUNV) BY VISIONAIRE LIGHTING.
- 10 NEW PLANTING AREA.
- 11 PROPOSED SIDEWALK LANDING TO BE ALIGNED SO THAT PROPOSED SIDEWALK LANDING IS INSIDE EXISTING CROSSWALK MARKINGS TO REMAIN. PROVIDE DETECTABLE WARNING SURFACE AT NEW LANDING.
- 12 NEW 5' X 7' MIAMI-DADE APPROVED ALUMINUM GUARD HOUSE WITH SLIDING DOOR BY MARDAN, ON 6' X 8' CONCRETE PAD. CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS.
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DESIGN DELIVERABLE: PERMIT SET
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CHECKED BY:

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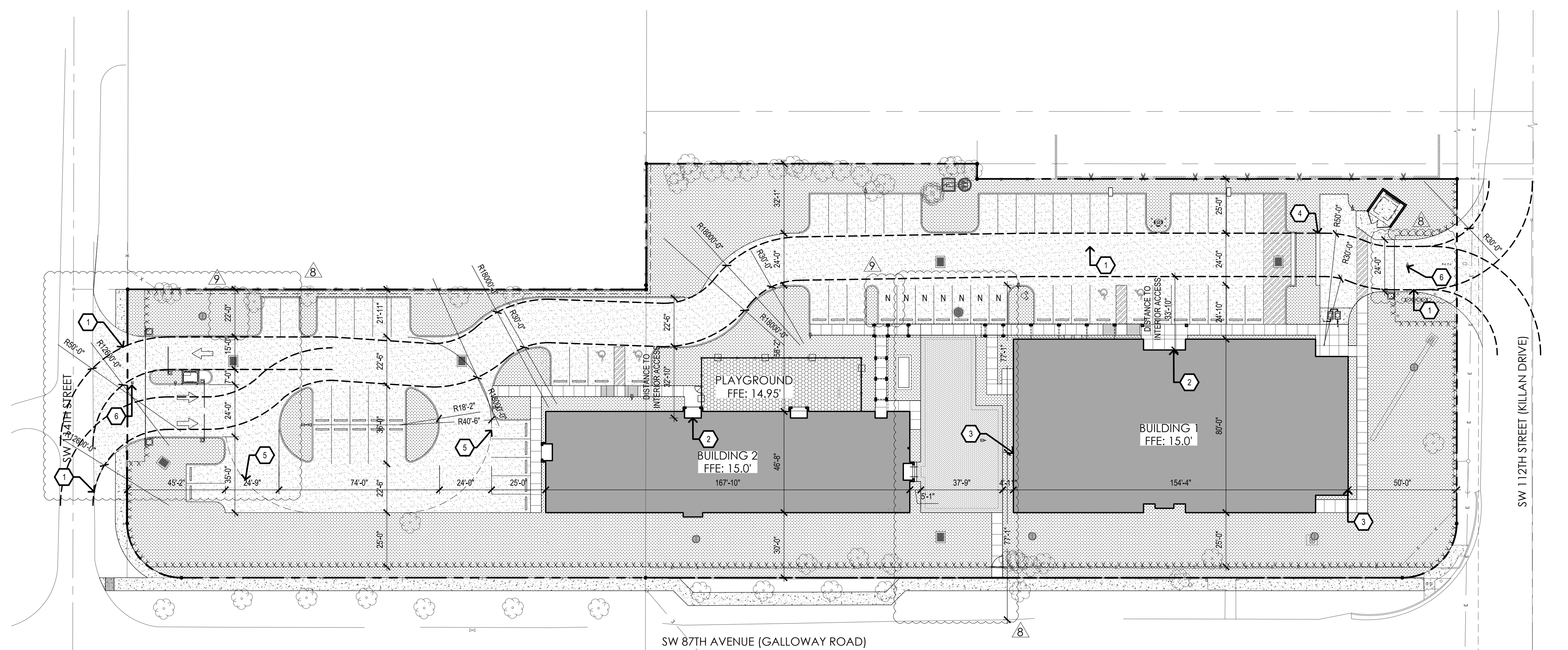
SHEET TITLE:
ENLARGED ARCHITECTURAL SITE PLAN SOUTH SECTION

SHEET NUMBER:
AS-403

SW 87TH AVENUE (GALLOWAY ROAD)

MATCH LINE

SW 114TH STREET



NEW CONSTRUCTION PLANS FOR:
CHABAD KENDALL & PINECREST
 8700 SW 112 Street
 MIAMI, FL 33176
 CLIENT: CHABAD CENTER OF KENDALL INC

REV	DATE	DESCRIPTION
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2 ARCHITECTURAL SITE PLAN
 SCALE: 1" = 30'

- 1 FIRE DEPARTMENT ACCESS ROAD. 20 FEET UNOBSTRUCTED WIDTH (TWO-WAY TRAFFIC), 15 FEET UNOBSTRUCTED CLEARANCE (ONE-WAY TRAFFIC) AND NOT LESS THAN 13 FEET 6 INCHES OF UNOBSTRUCTED VERTICAL CLEARANCE PER THE FLORIDA FIRE PREVENTION CODE NFPA 1: 18.2.3.4.1.2
- 2 EXTERIOR DOOR PROVIDING ACCESS TO THE INTERIOR OF ANY AND ALL BUILDINGS WITHIN 50' OF FIRE DEPARTMENT ACCESS ROAD PER THE FLORIDA FIRE PREVENTION CODE NFPA 1: 18.2.3.2.1
- 3 FURTHEST PORTION OF THE FACILITY NOT TO EXCEED 450' FROM FIRE DEPARTMENT ACCESS ROAD PER THE FLORIDA FIRE PREVENTION CODE NFPA 1: 18.2.3.2.2 AND NFPA 1: 18.2.3.2.1
- 4 MOUNTABLE CURB FOR FIRE RESCUE ACCESS ONLY (REFER TO CIVIL DRAWINGS). MAINTAINED TO SUPPORT A MINIMUM OF 32 TONS. TURFED AREA TO BE CLEAR OF ALL LANDSCAPING.
- 5 REGULAR VEHICLE ACCESS ONLY. NOT A FIRE ACCESS ROAD.
- 6 ELECTRICALLY OPERATED GATE, KNOX KEY SWITCH MODEL 3502, 3511, 3513 OR 3516 IS REQUIRED AND SHOULD BE LOCATED AS INDICATED. WHEN FULLY OPEN, GATE SHALL PROVIDE FULL CLEARANCE OF DRIVEWAY AS DIMENSIONED ON THE PLAN.

NOTE: BUILDINGS ARE ONE STORY STRUCTURES AND FULLY SPRINKLERED

NOTE: BUILDINGS AND DUMPSTER ENCLOSURE WILL BE UNDER SEPARATE PROCESS NUMBERS

NOTE: THIS PROPERTY IS TIED TO ZONING HEARING PLAN M2018000028

CHABAD KENDALL BUILDING ONE

ROOM OR SPACE DESIGNATION	GROSS SQUARE FOOTAGE
SANCTUARY / SOCIAL HALL	4,476
OFFICES / MEETING ROOMS	2,480
MIKVAH	510
KITCHEN	695
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CHABAD KENDALL BUILDING TWO

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CHABAD KENDALL PARKING CALCULATIONS

TYPE OF USE AND CODE REFERENCE	RATIO	REQUIRED	PROVIDED
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1 ARCHITECTURAL SITE PLAN NOTES

DESIGN DELIVERABLE: PERMIT SET
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PROJECT NUMBER: 1068-100419

DRAWN BY: AG
 CHECKED BY:

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ARCHITECTURAL SITE PLAN - FIRE RESCUE ACCESS

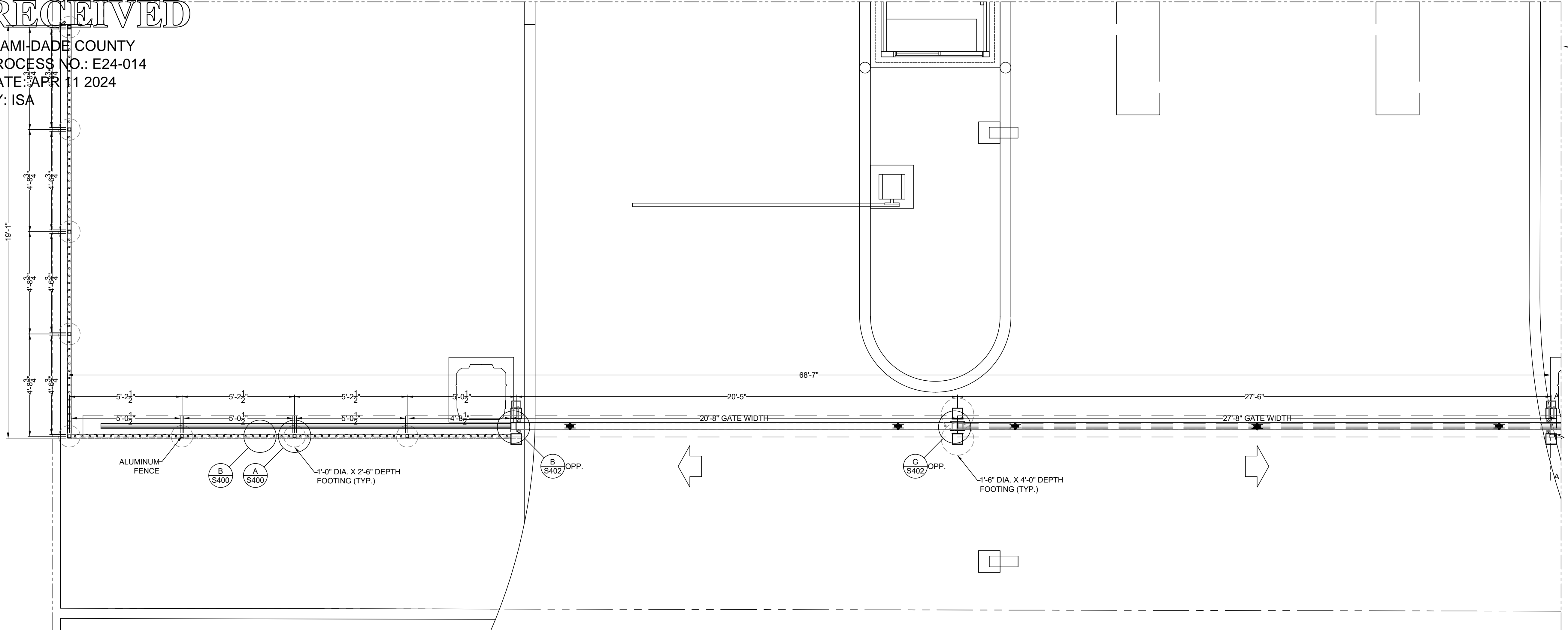
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AS-0111

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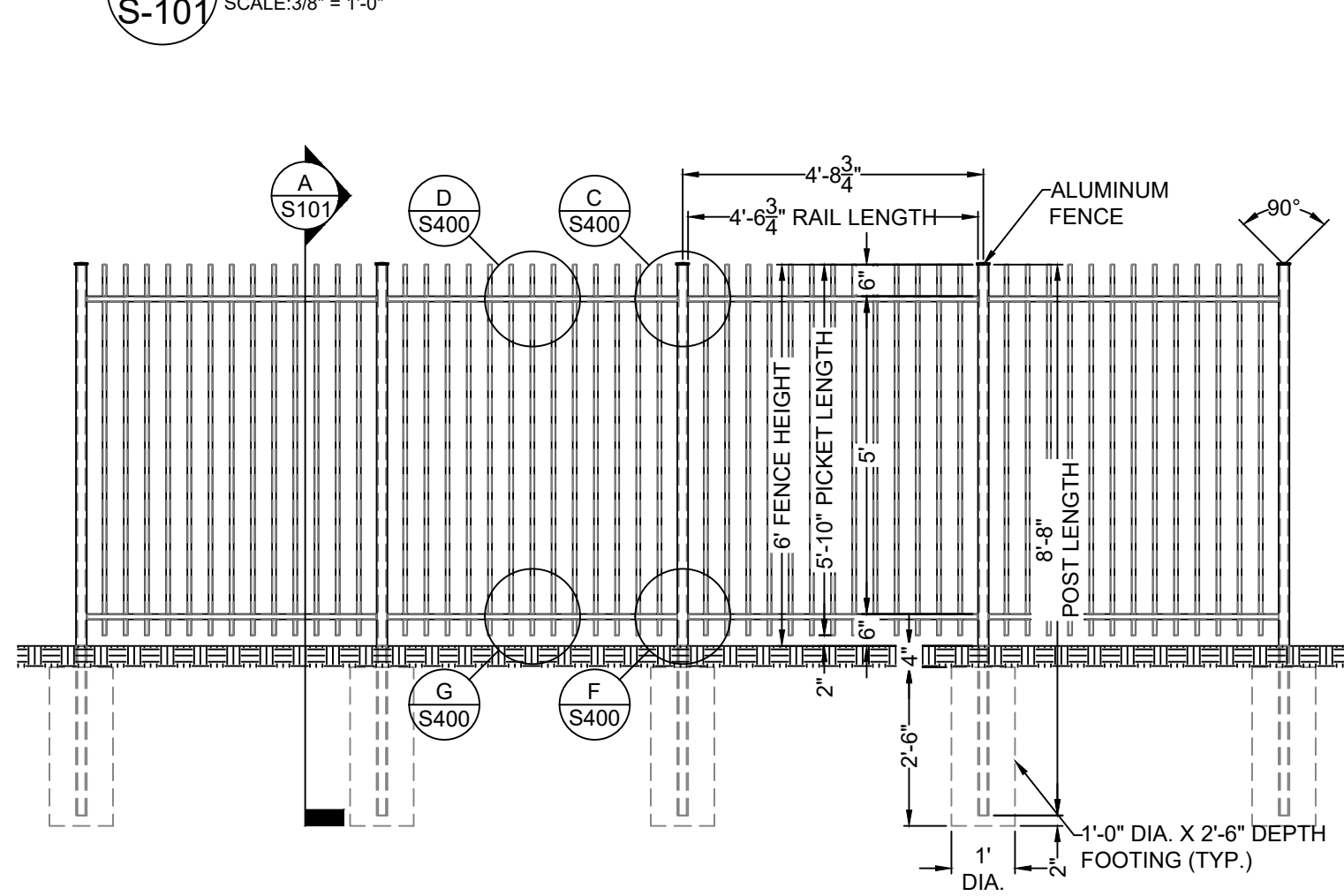
MIAMI-DADE COUNTY
PROCESS NO.: E24-014
DATE: APR 11 2024
BY: ISA

CLIENT INFORMATION
MASTER TECH GATE
OPERATORS CORP.

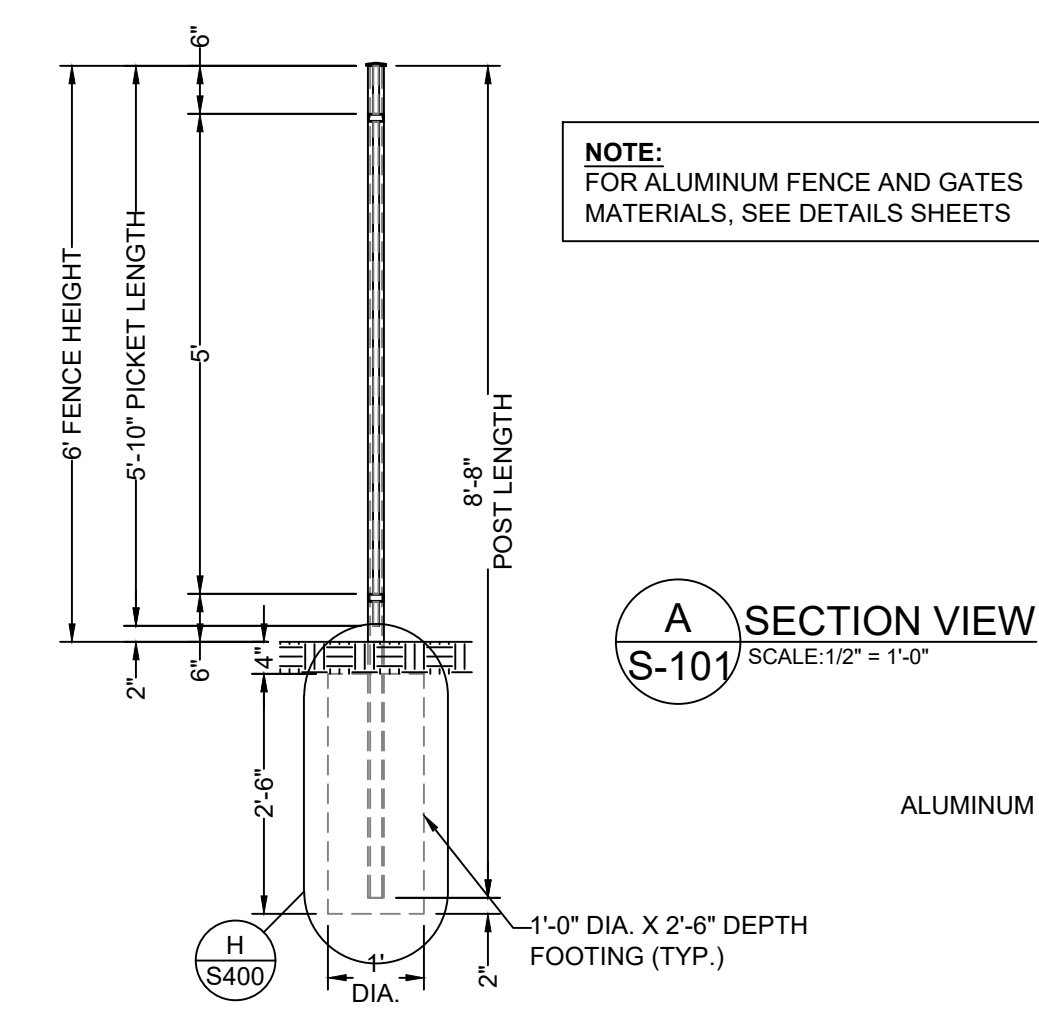
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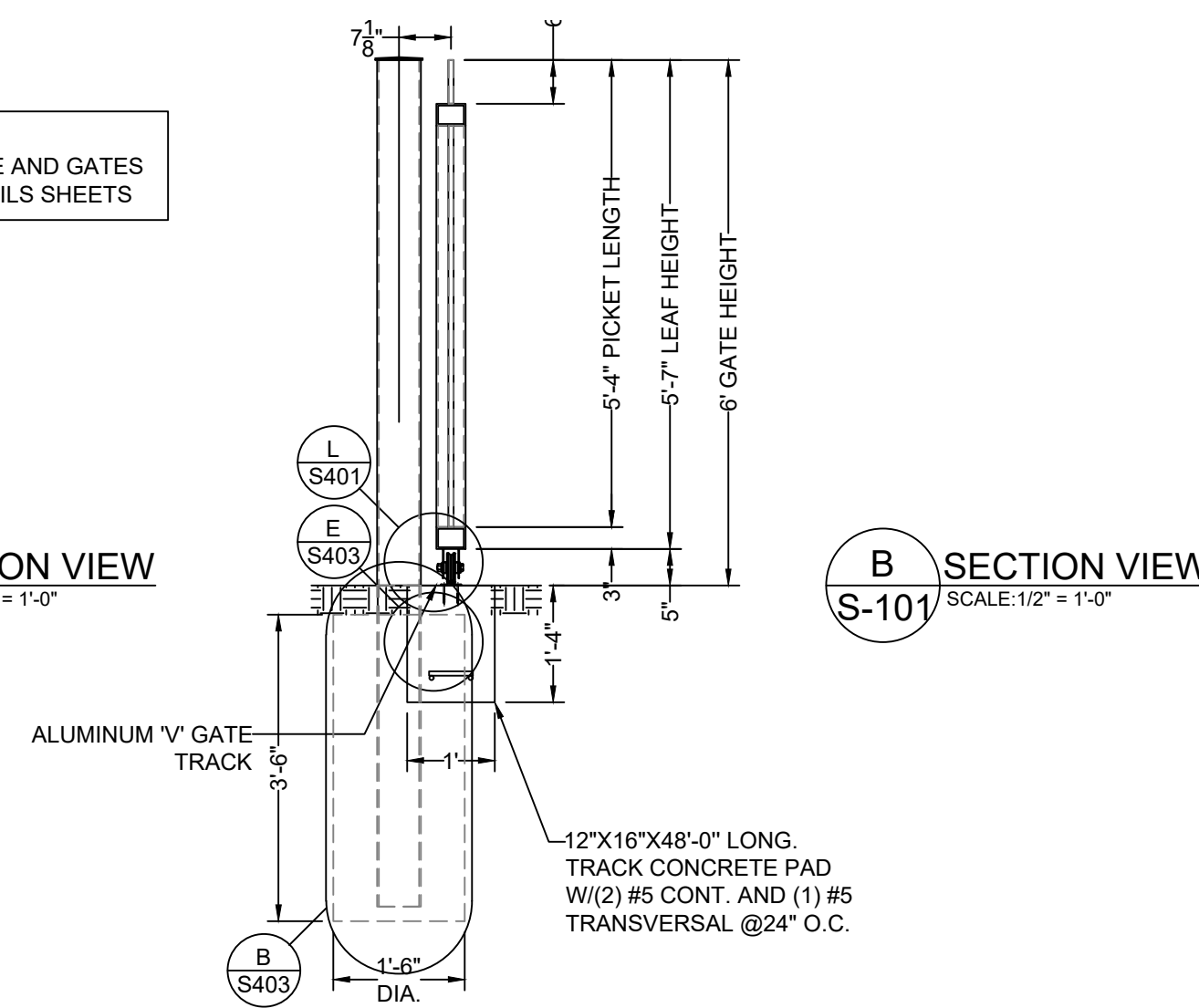
01 PLAN VIEW - FENCE
S-101 SCALE: 3/8" = 1'-0"



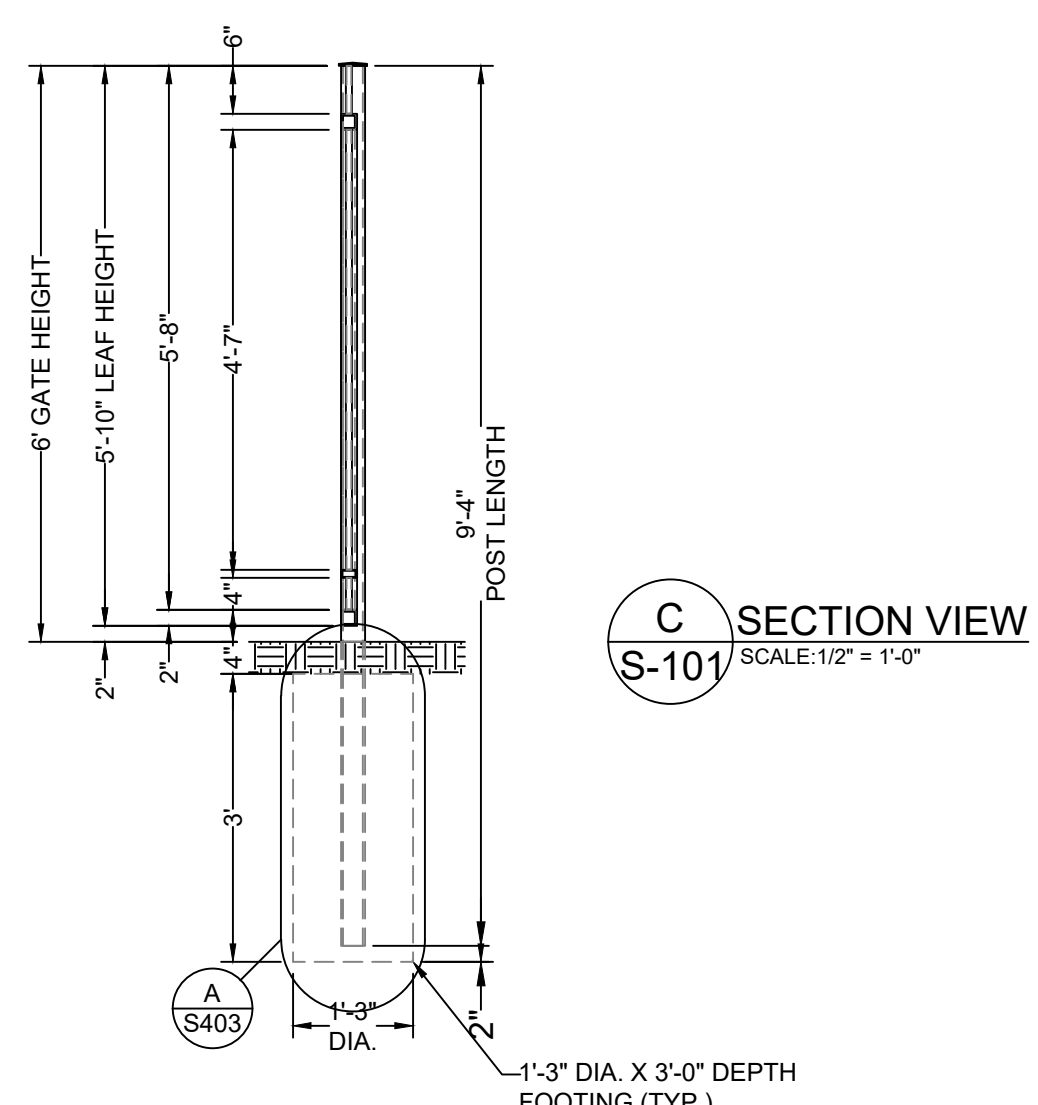
02 ELEVATION VIEW - FENCE
S-101 SCALE: 3/8" = 1'-0"



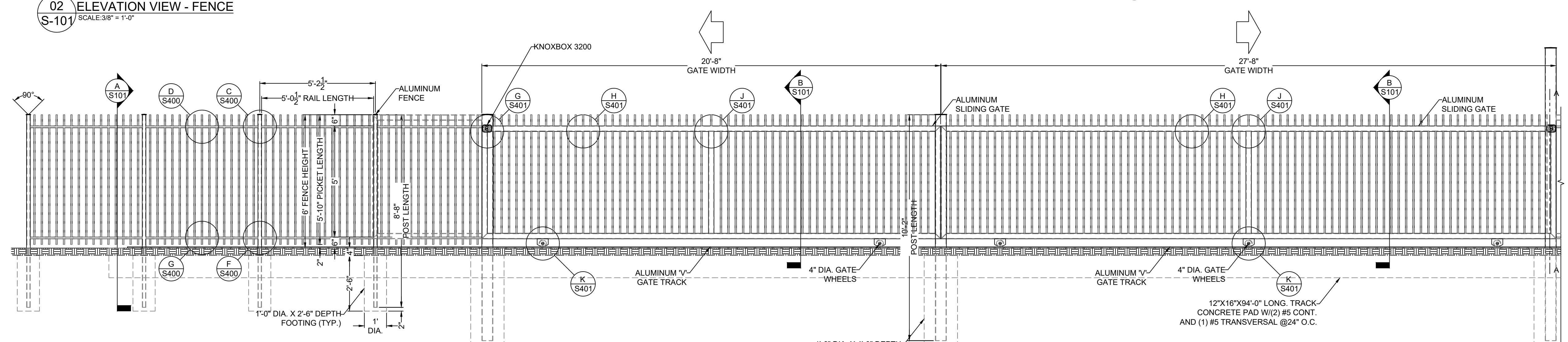
A SECTION VIEW
S-101 SCALE: 1/2" = 1'-0"



B SECTION VIEW
S-101 SCALE: 1/2" = 1'-0"



C SECTION VIEW
S-101 SCALE: 1/2" = 1'-0"



03 ELEVATION VIEW - FENCE
S-101 SCALE: 3/8" = 1'-0"

NOTE:
FOR ALUMINUM FENCE AND GATES
MATERIALS, SEE DETAILS SHEETS

NOTE:
FOR ALUMINUM FENCE AND GATES
MATERIALS, SEE DETAILS SHEETS

This item has been digitally signed and sealed by
Carlos E. Melchor on the date adjacent to the seal.
Printed copies of this document are not considered
signed and sealed and the signature must be
verified on any electronic copies

COMPANY INFO
Melchor Consultation Services, LLC.
PHONE No.: 305-807-5556
CARLOS@MELCHORCS.COM

DRF / ENG
P. T. / C.M.
DATE
01-30-23
PROJECT #
22-363

PROJECT
CHABAD KENDALL & PINECREST
ALUMINUM FENCE
8700 SW 112 STREET
MIAMI, FL 33176
PHASE 1 - FIXED FENCE

REVISION		
#	DATE	COMMENT

CARLOS MELCHOR
FL P.E. # 81344
C.A.N. # 32186
DRAWINGS ARE VALID ONLY
WITH AN EMBOSSED SEAL
AND SIGNATURE

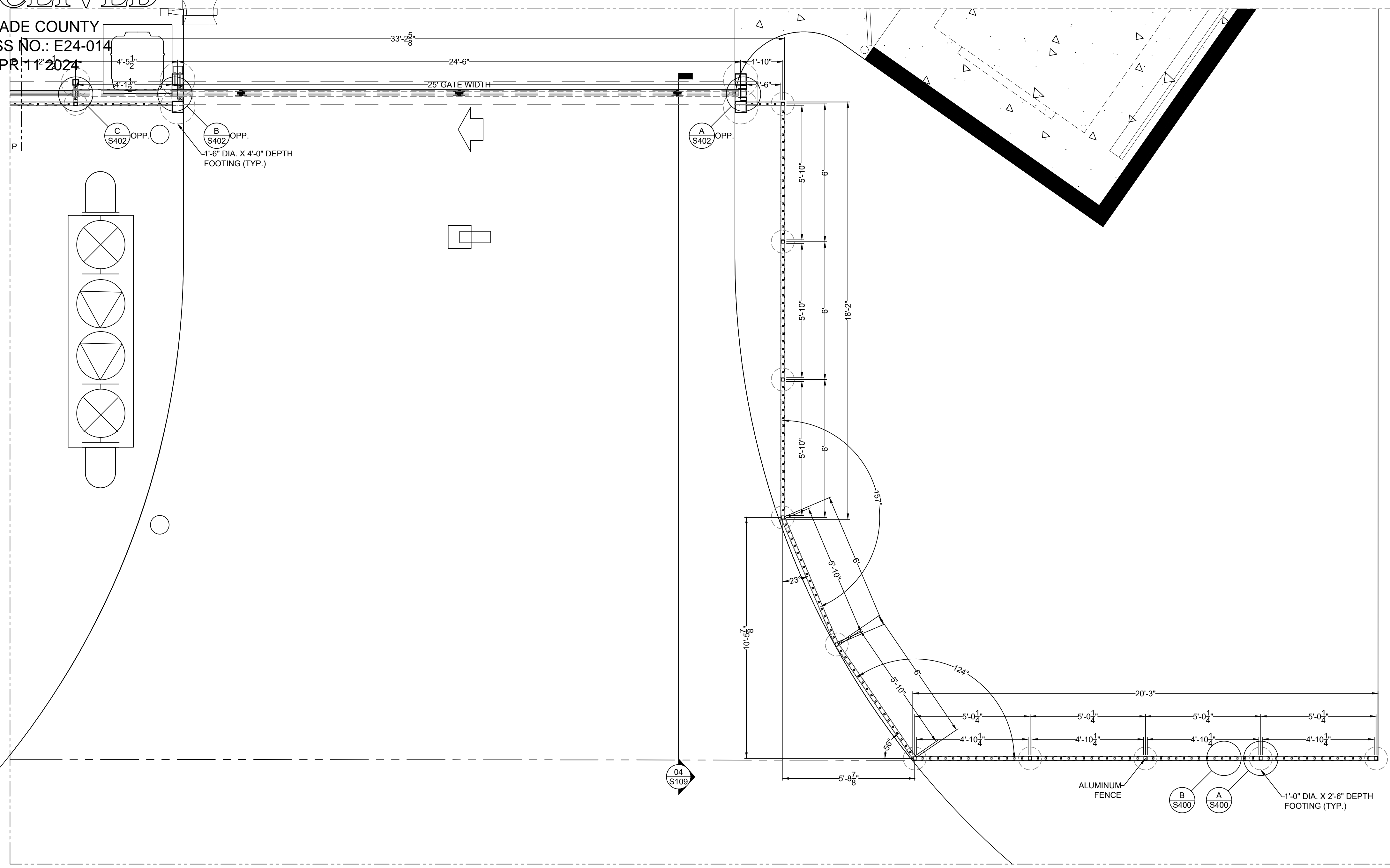
DATE
DRAWING INFO
ALUMINUM FENCE

22-363 - STRCT.
PAGE: S-101

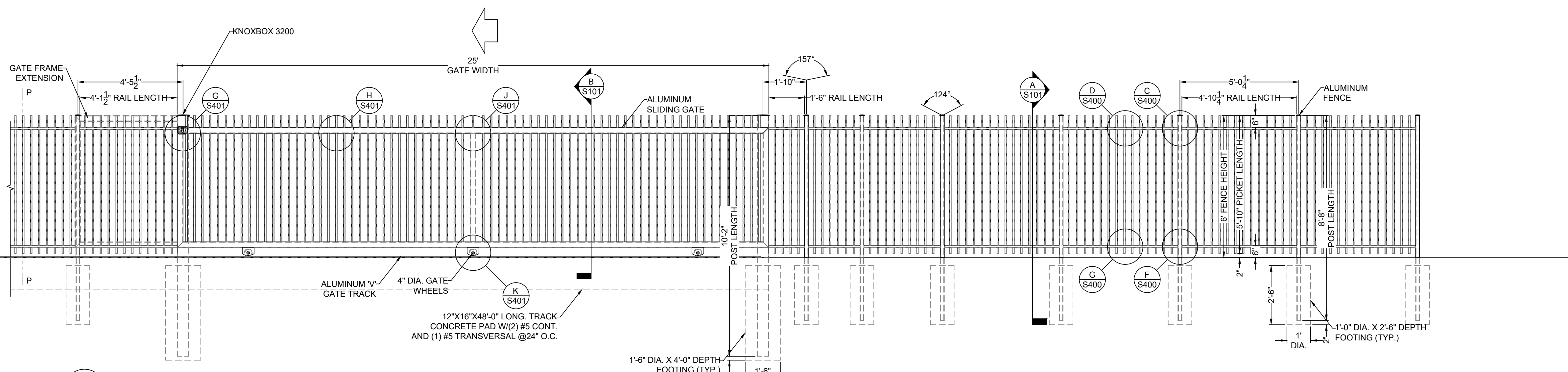
ISSUED 04-01-24

RECEIVED

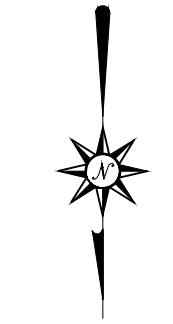
MIAMI-DADE COUNTY
 PROCESS NO.: E24-014
 DATE: APR 11 2024
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01 PLAN VIEW - FENCE
 S-110 SCALE: 3/8" = 1'-0"



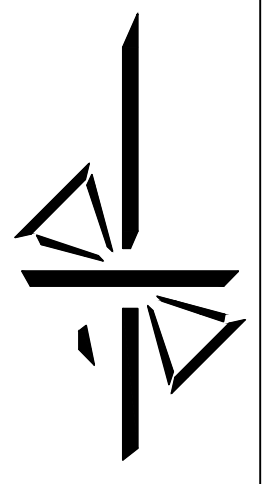
02 ELEVATION VIEW - FENCE
 S-110 SCALE: 3/8" = 1'-0"



CLIENT INFORMATION
 MASTER TECH GATE
 OPERATORS CORP.

BLANK FOR CITY STAMPS

COMPANY INFO
 Melchor Consultation Services, LLC.
 PHONE No.: 305-807-5556
 CARLOS@MELCHORCS.COM



DRF / ENG
 P. T. / C. M.
 DATE
 01-30-23
 PROJECT #
 22-363

PROJECT
 CHABAD KENDALL & PINECREST
 ALUMINUM FENCE
 8700 SW 112 STREET
 MIAMI, FL 33176
 PHASE 1 - FIXED FENCE

REVISION		
#	DATE	COMMENT

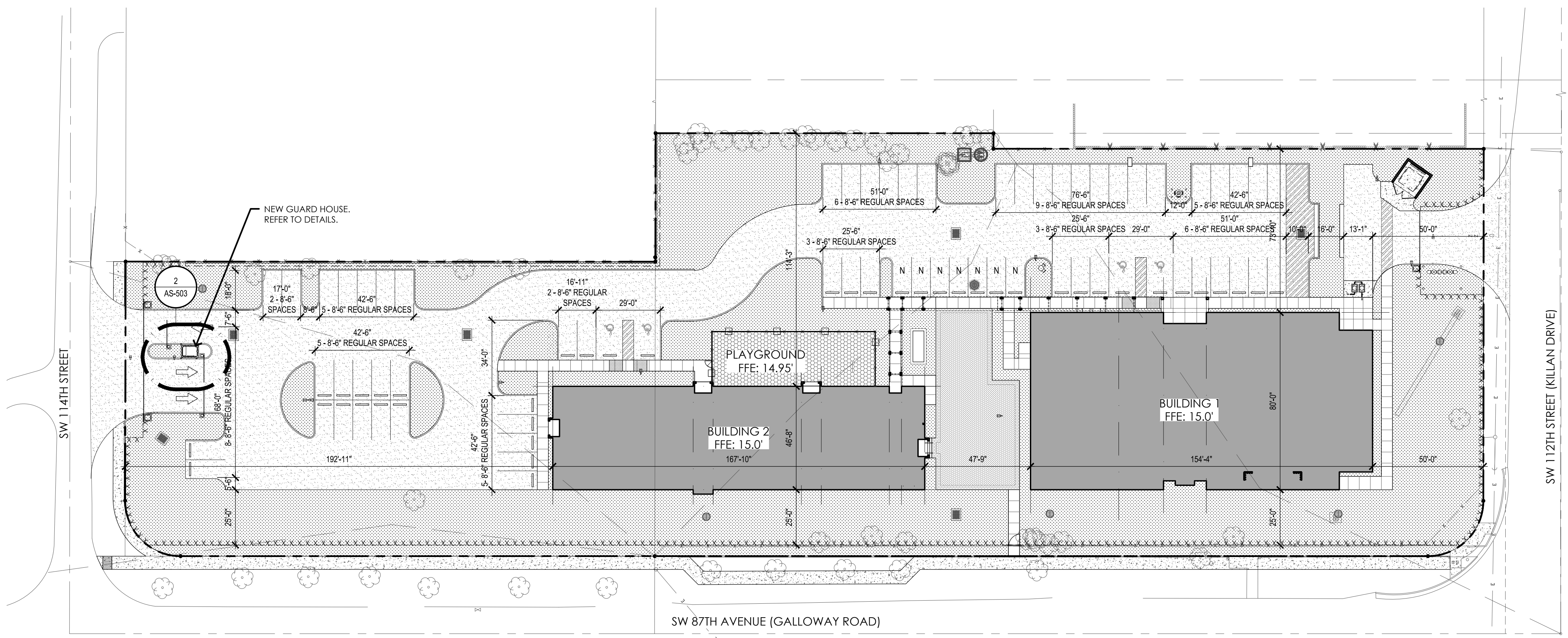
CARLOS MELCHOR
 FL P.E. # 81344
 C.A.N. # 32186
 DRAWINGS ARE VALID ONLY
 WITH AN EMBOSSED SEAL
 AND SIGNATURE

This item has been digitally signed and sealed by Carlos E. Melchor on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies

DATE
 DRAWING INFO
 ALUMINUM FENCE

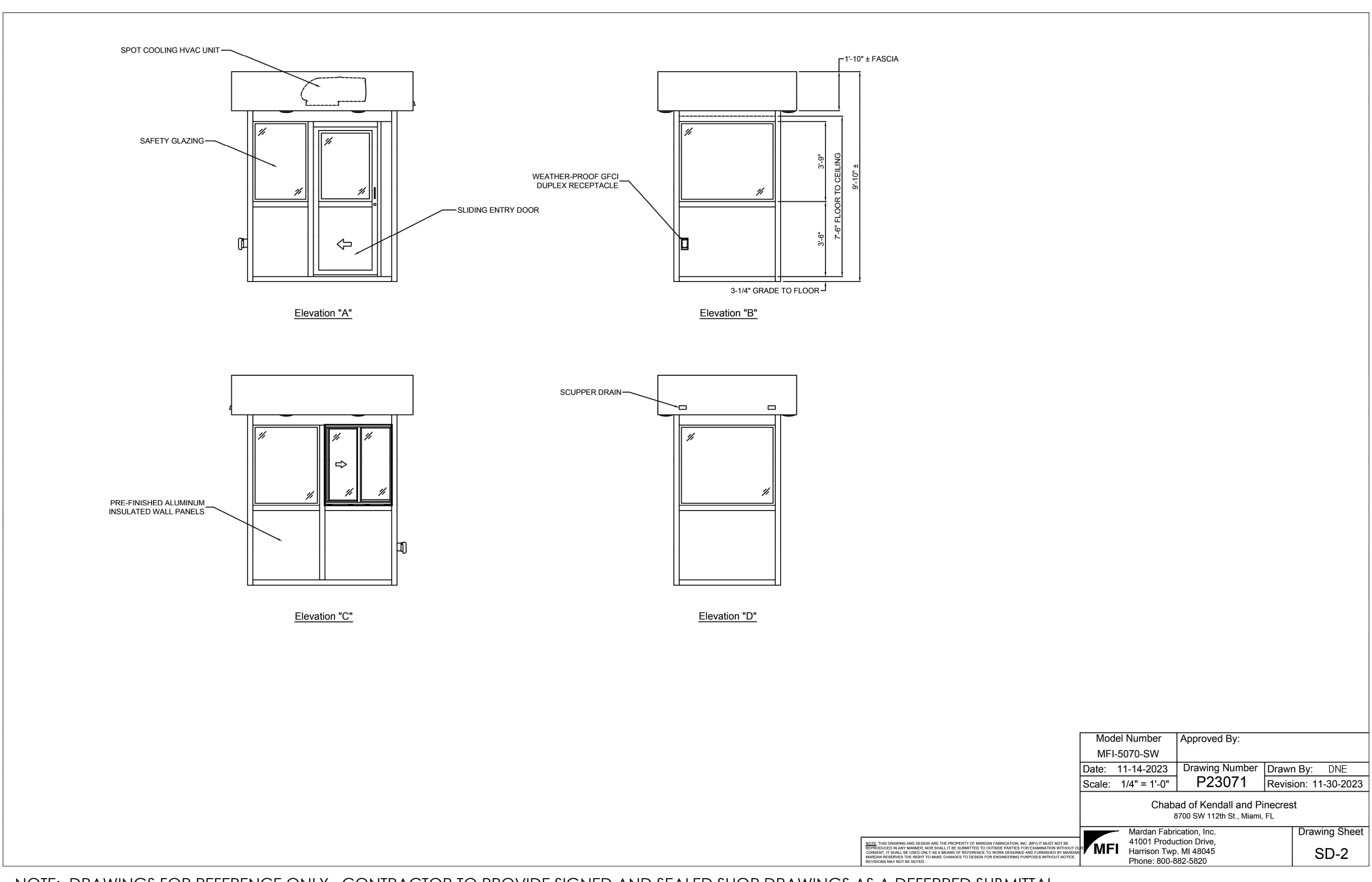
22-363 - STRCT.
 PAGE: S-110

ISSUED 04-01-24

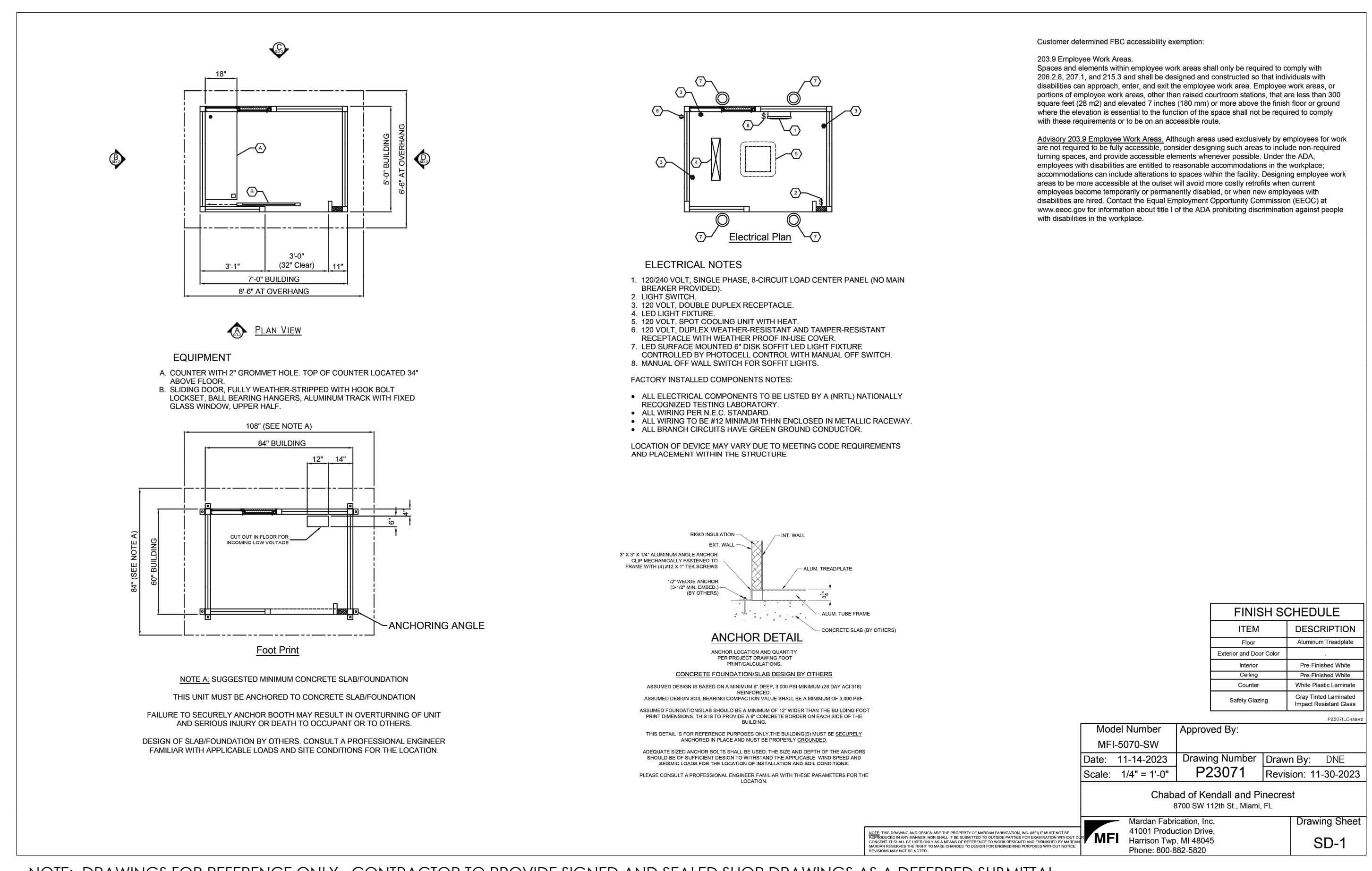


1 OVERALL SITE PLAN
 SCALE: 1" = 30'

NEW CONSTRUCTION PLANS FOR:
CHABAD KENDALL & PINECREST
 8700 SW 112 Street
 MIAMI, FL 33176
 CLIENT: CHABAD CENTER OF KENDALL INC



3 GUARD HOUSE NOTES
 N.T.S.



2 GUARD HOUSE DETAILS
 N.T.S.

REV	DATE	DESCRIPTION
9	11/29/2023	RESPONSE TO COUNTY COMMENTS

DESIGN DELIVERABLE: PERMIT SET
 ISSUE DATE: 9/13/19

PROJECT NUMBER: 1068-100419

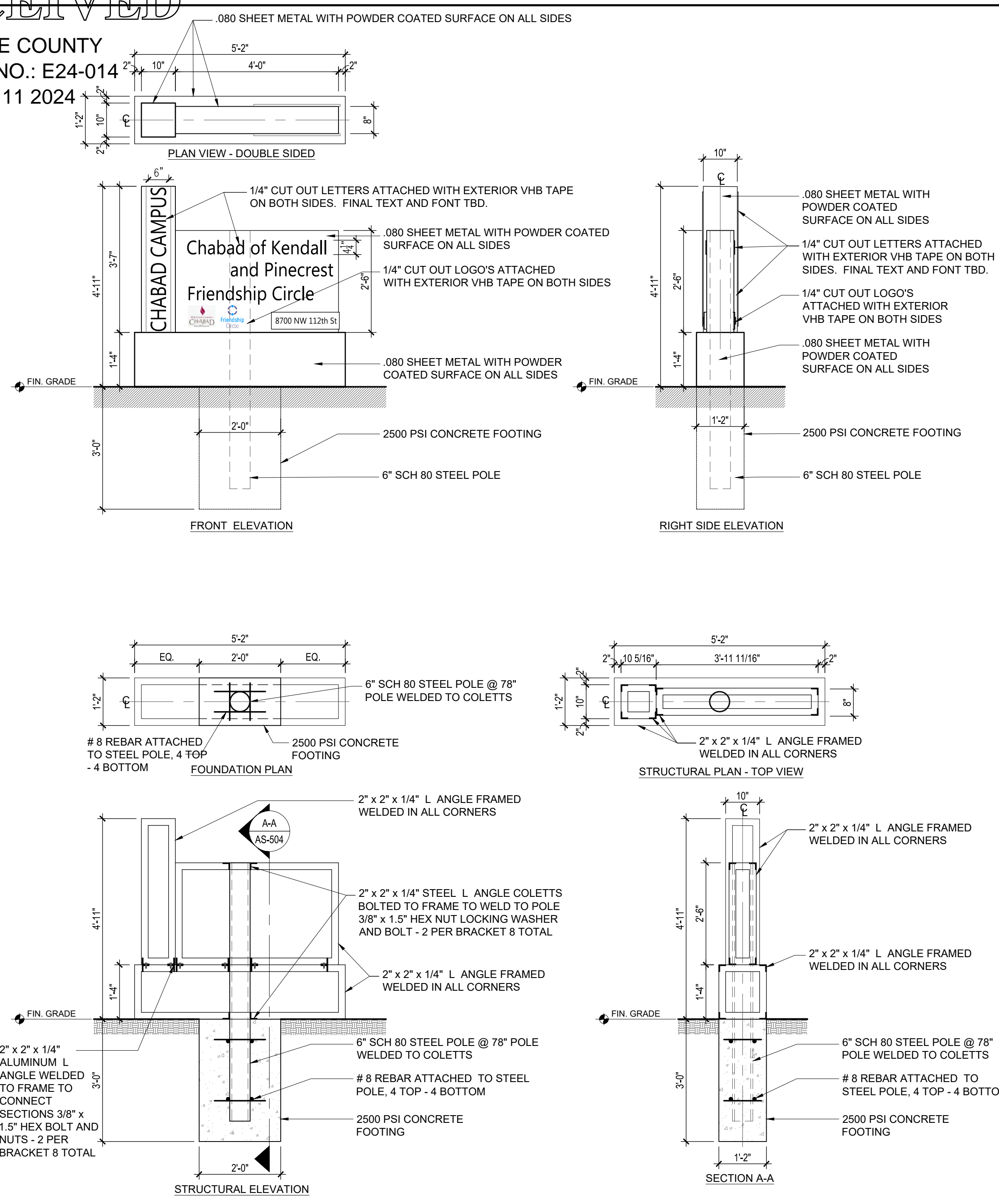
DRAWN BY: AG

CHECKED BY:

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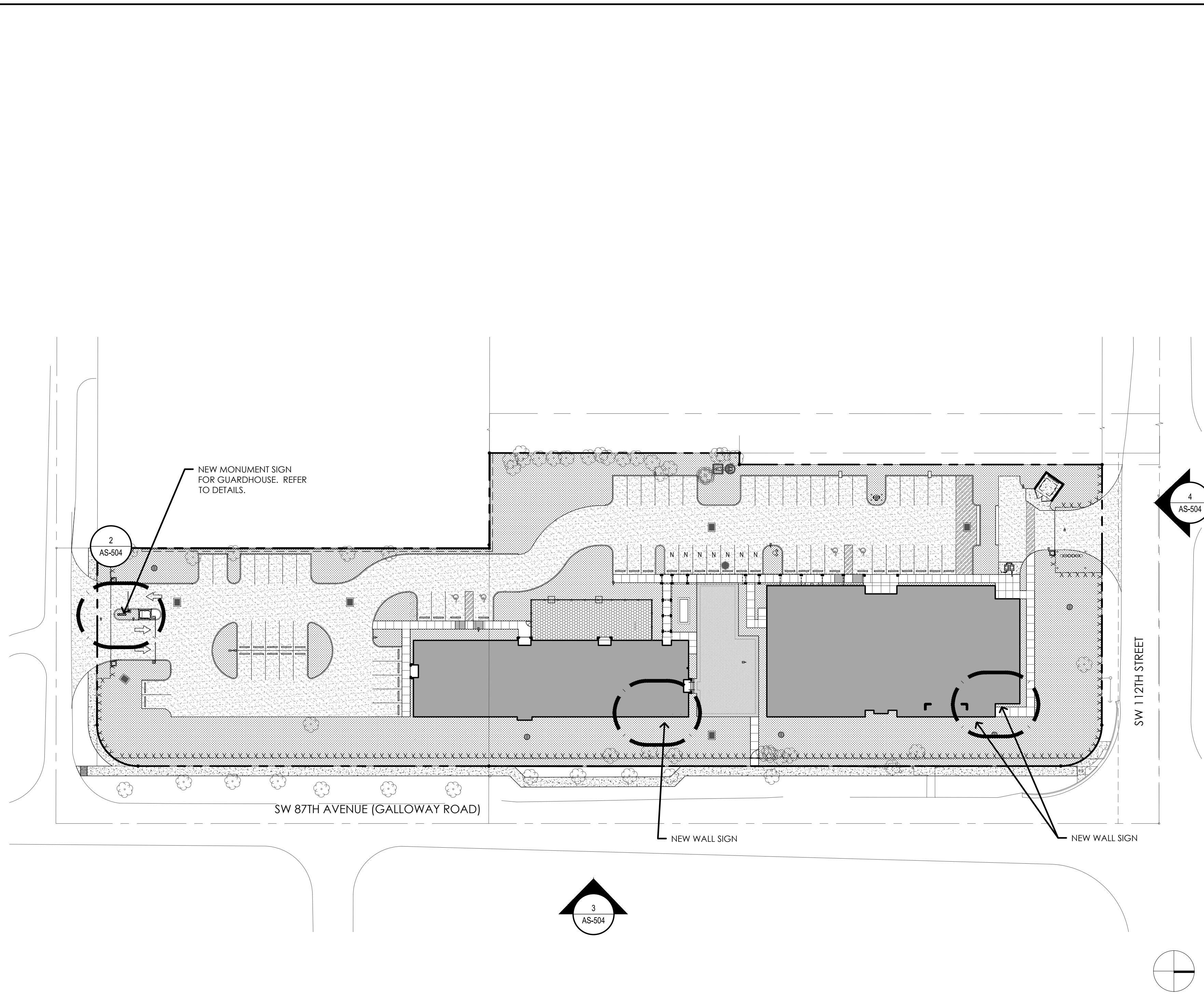
SHEET TITLE:
GUARD HOUSE

SHEET NUMBER:
AS-503

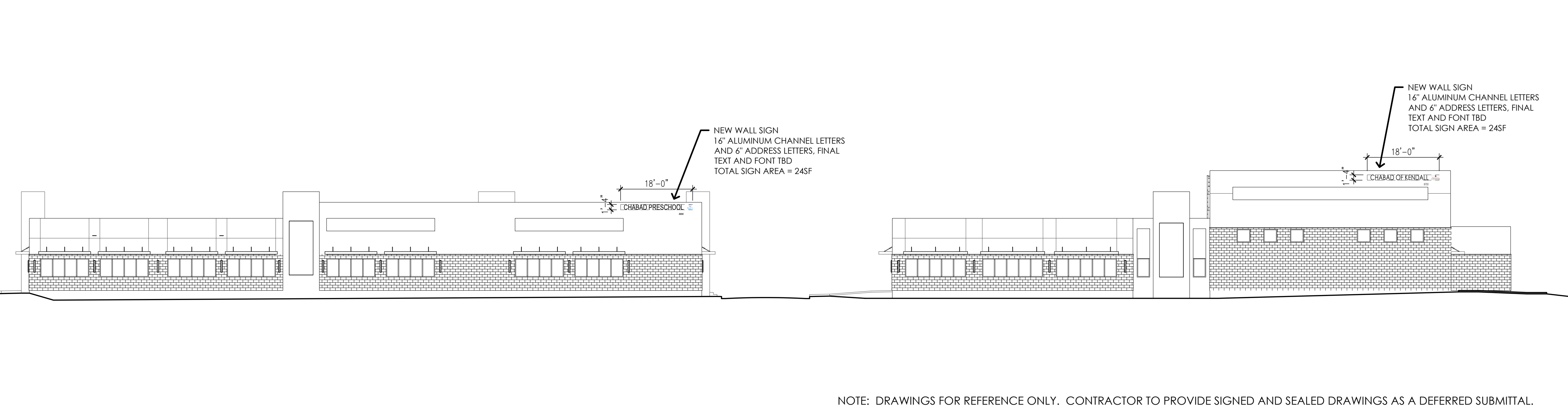


NOTE: DRAWINGS FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE SIGNED AND SEALED DRAWINGS AS A DEFERRED SUBMITTAL.

2 MONUMENT SIGN DETAILS
 SCALE: 1/2" = 1' - 0"

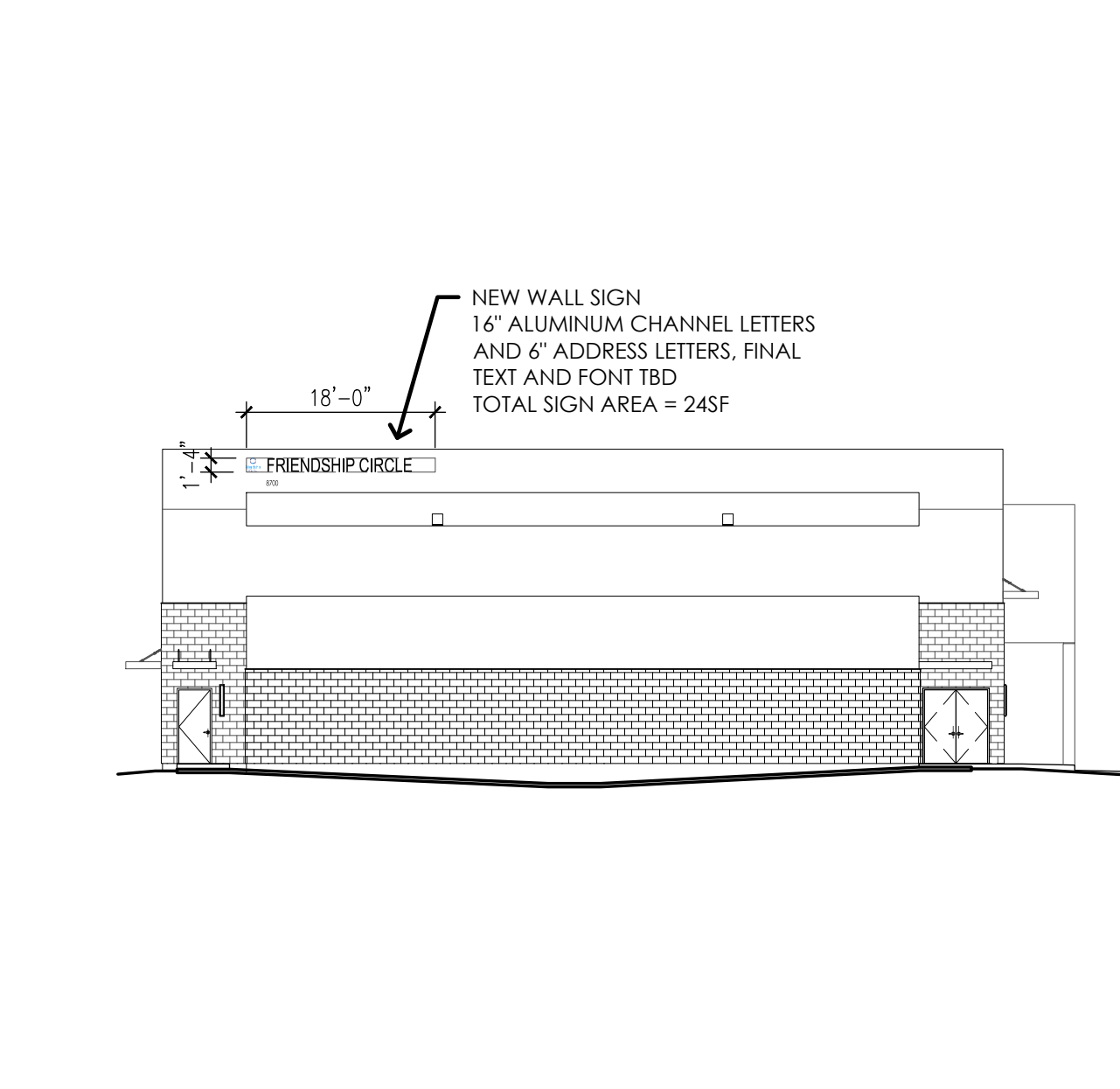


1 OVERALL SITE PLAN
 SCALE: 1" = 40'



NOTE: DRAWINGS FOR REFERENCE ONLY. CONTRACTOR TO PROVIDE SIGNED AND SEALED DRAWINGS AS A DEFERRED SUBMITTAL.

3 BUILDING SIGNAGE - EAST ELEVATION
 SCALE: 1/16" = 1' - 0"



4 BUILDING SIGNAGE - NORTH ELEVATION
 SCALE: 1/16" = 1' - 0"

SRS
 SYNALOVSKI ROMANIK SAYE
 Architecture • Planning • Interior Design
 1800 Eller Drive, Suite 500
 Fort Lauderdale, FL 33316
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 www.synalovski.com

Manuel Synalovski, AIA
 STATE OF FLORIDA
 MANUEL SYNALOVSKI
 REGISTERED ARCHITECT
 AR0011628
 LICENSE NO. AA26001863

**NEW CONSTRUCTION PLANS FOR:
 CHABAD KENDALL & PINECREST**
 8700 SW 112 Street
 MIAMI, FL 33176
 CLIENT: CHABAD CENTER OF KENDALL INC

REV	DATE	DESCRIPTION
10	04/02/2024	PROPOSED SIGNAGE

DESIGN DELIVERABLE: PERMIT SET
 ISSUE DATE: 9/13/19

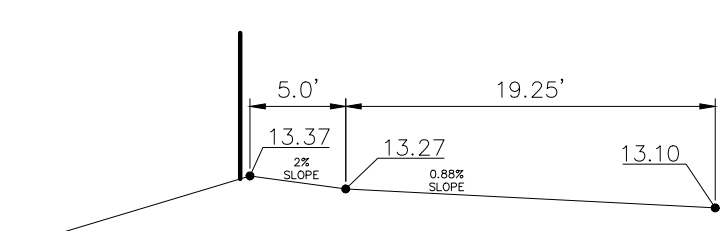
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 DRAWN BY: AG
 CHECKED BY:

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 SHEET TITLE:
PROPOSED SIGNAGE

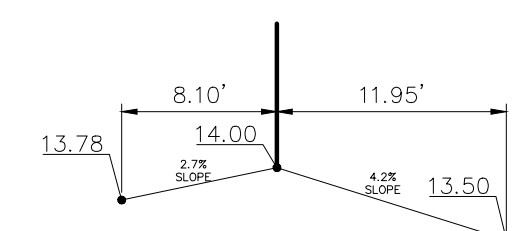
SHEET NUMBER:
AS-504

LEGEND

	PROPERTY LINE		EXISTING GRADE
	PROPOSED BUILDING		PROPOSED GRADE
	PROPOSED TYPE S III ASPHALT (1 1/2 INCHES) W/6" LIMEROCK ON 12" SUBGRADE		PROPOSED GRADE (TOP OF CURB)
	PROPOSED 6" CONCRETE SIDEWALK		PROPOSED DRAINAGE
	PROPOSED SOD		PROPOSED DRAINAGE W/ EXFILTRATION TRENCH
	FLOW ARROW		PROPOSED CATCH BASIN (CB)
	EXISTING CATCH BASIN (CB)		PROPOSED YARD DRAIN (YD)
	PROPOSED PLAY GROUND (PERMEABLE RUBBER MATS)		BRICK PAVERS



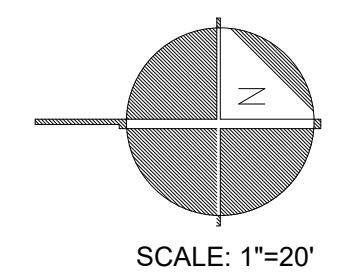
DRIVEWAY CROSS SECTION G-G



DRIVEWAY CROSS SECTION H-H

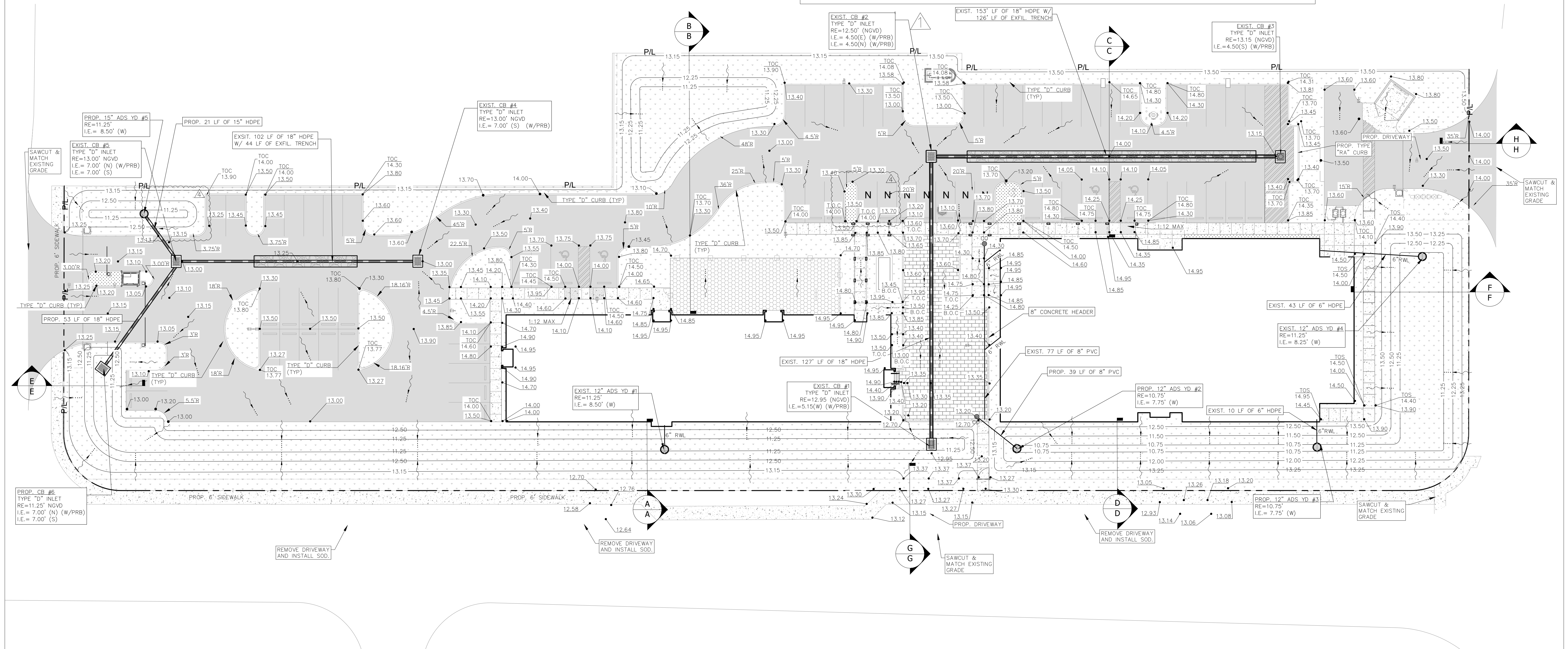
NOTES:

- EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE LOCATIONS AND HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR TO FIELD VERIFY ANY CONFLICTS WITH TREES AND/OR UTILITIES AND DRAINAGE. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH ANY SOLUTION TO THE CONFLICT.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES, ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NOT EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" 48 HOURS BEFORE DIGGING.
- CONTRACTOR IS TO RESTORE ANY CURB, LANDSCAPE, ASPHALT, ETC. (NOT SCHEDULED FOR DEMOLITION) DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO WHAT IS EXISTING.
- ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ON THE CONSTRUCTION DOCUMENTS ARE BASED ON THE NATIONAL GEODETTIC VERTICAL DATUM 1929 (NGVD).
- WHEN WORKING IN THE SIDEWALK PEDESTRIAN DETOUR SIGNS MUST BE PLACED AT CROSSWALKS ON BOTH SIDES OF THE WORK AREA IN ACCORDANCE TO INDEX # 660. FOR WORK WITHIN 2' OF EDGE OF PAVEMENT, NOT STANDARD INDEX # 616 SHALL BE USED.
- DRIVEWAY CONCRETE PAVEMENT SHALL BE 6" THICK AND SHALL BE SEPARATED BY EXPANSION JOINT FROM THE 4" THICK SIDEWALK.
- ALL WORK WITHIN FDOT RIGHT OF WAY WILL BE TO CURRENT FDOT STANDARDS & SPECIFICATIONS
- ASPHALT SHALL BE SAW CUT BEFORE REMOVING SHOULDER OR GUTTER TO PREVENT DAMAGE TO THE EXISTING ASPHALT.
- ENSURE APPROPRIATE EROSION CONTROL DEVICES ARE IN PLACE BEFORE ANY CONSTRUCTION BEGINS AND ARE USED THROUGHOUT THE DURATION OF CONSTRUCTION.
- VALIDITY OF THIS PERMIT IS CONTINGENT UPON PERMITTED OBTAINING NECESSARY PERMITS FROM ALL OTHER AGENCIES INVOLVED.
- ANY DAMAGE TO SIDEWALK, RAMPS AND/OR CURB AND GUTTER SHOULD BE RESTORED PER FDOT 2020-2021 STANDARDS PLANS INDEX FOR ROAD CONSTRUCTION NO. 520-001, 522-001, 522-002, 522-003 AND FDOT STANDARD SPECIFICATION 522. REFER TO THE FDOT DESIGN STANDARDS IN THE GENERAL NOTES. MAKE SURE TO FURNISHING APPROPRIATE EXPANSION JOINTS AS PER DS INDEX 305-001
- EXISTING FDOT DRAINAGE SHALL BE PROTECTED ALWAYS BY THE PERMITEE. ANY DAMAGE TO THE FDOT DRAINAGE SYSTEM SHALL BE REPAIRED / REPLACED BY THE PERMITEE AT NO COST TO THE DEPARTMENT.
- IF SURFACE CONSTRUCTION OCCURS WITHIN THE DRIP LINES OF EXISTING TREES, PROTECT TREES DURING CONSTRUCTION PER FDOT STANDARD PLANS INDEX 110-100. DO NOT PARK VEHICLES OR STAGE CONSTRUCTION WITHIN THE DRIP LINES OF EXISTING TREES. WHERE CONSTRUCTION AFFECTS TREE ROOTS OR CANOPY, PROVIDE TRIMMING PER FDOT STANDARD SPECIFICATION 110
- THE ASPHALT IS LESS THAN FIVE YEARS OLD ON SR 990. DAMAGE TO THE ASPHALT WILL INCLUDE THE MILLING AND RESURFACING OF A 50 FOOT AREA ON EITHER SIDE OF THE DAMAGE.



AGREEMENT ID # 30333

Sunshine
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!



MR	R.S.	09/25/2020	BUILDING DEPT. COMMENTS
DESIGNED BY		05/19/2021	MIAMI DADE DEPARTMENT OF TRAFFIC COMMENTS
MR	R.S.	09/08/2023	ENTRY REVISION
DRAWN BY		11/29/2023	RESPONSE TO COUNTY COMMENTS
MR			
CHECKED BY			
RR			
APPROVED BY	No.	DATE	REVISIONS

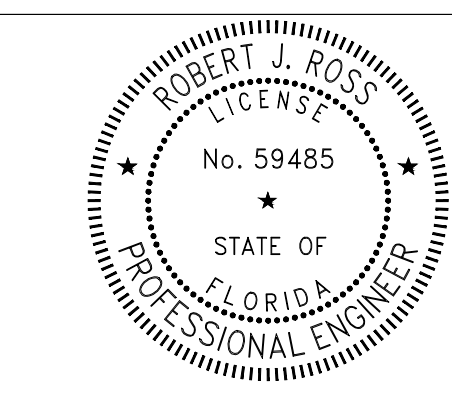
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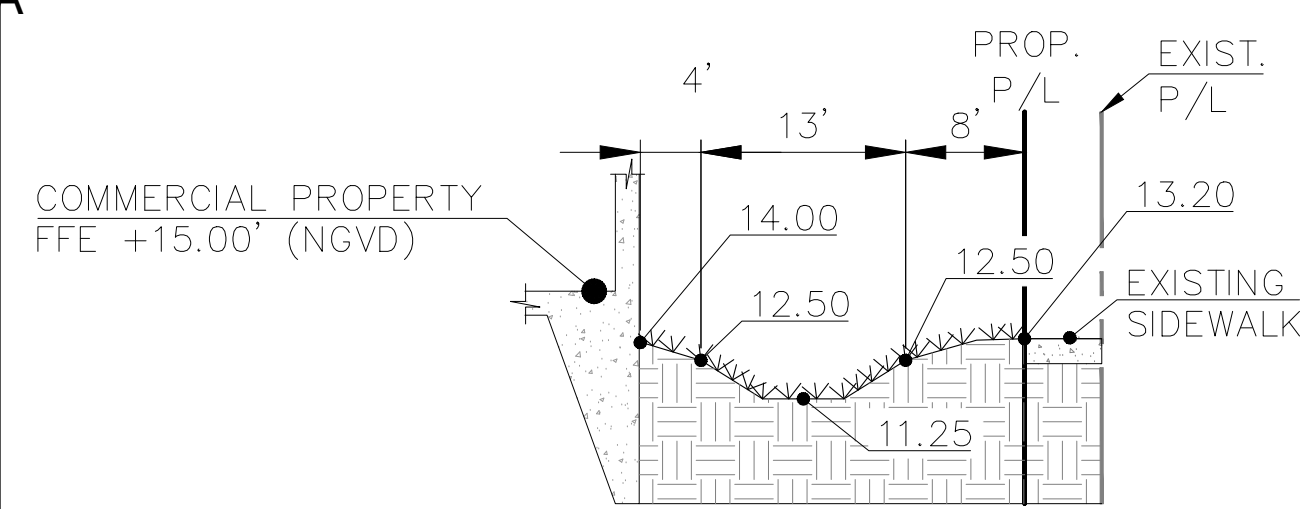
3325 S. UNIVERSITY DRIVE, SUITE 111
DAVIE, FLORIDA 33328
(954)318-0624 (954)358-0190 FAX
CERTIFICATE OF AUTHORIZATION No. 9808



Date: 12/6/2023

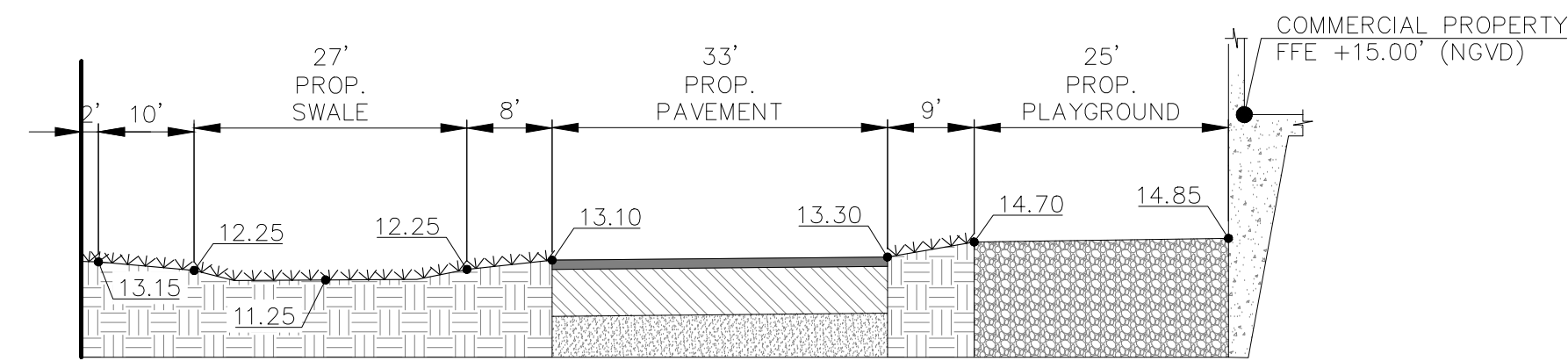
PAVING GRADING
AND DRAINAGE PLAN

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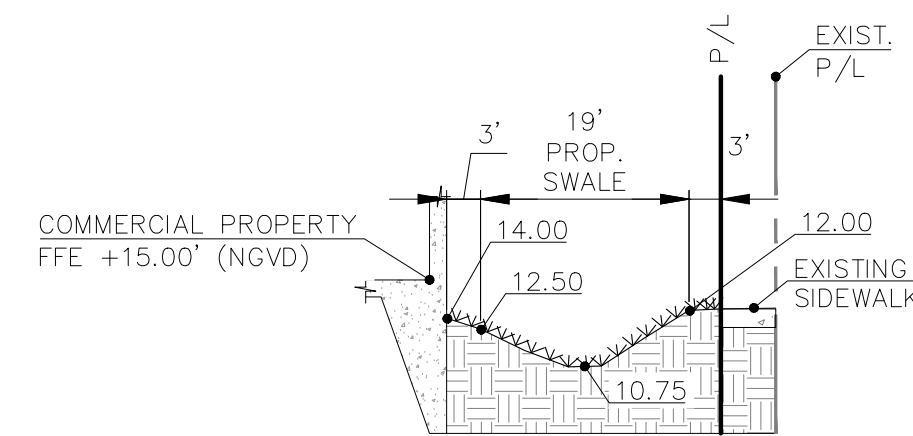
CROSS SECTION A-A

NTS



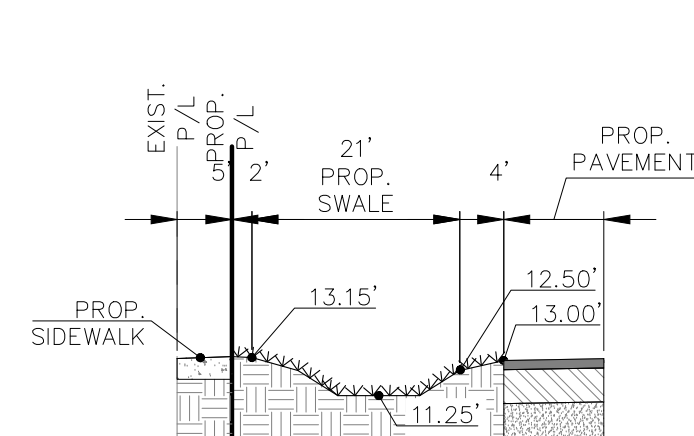
CROSS SECTION B-B

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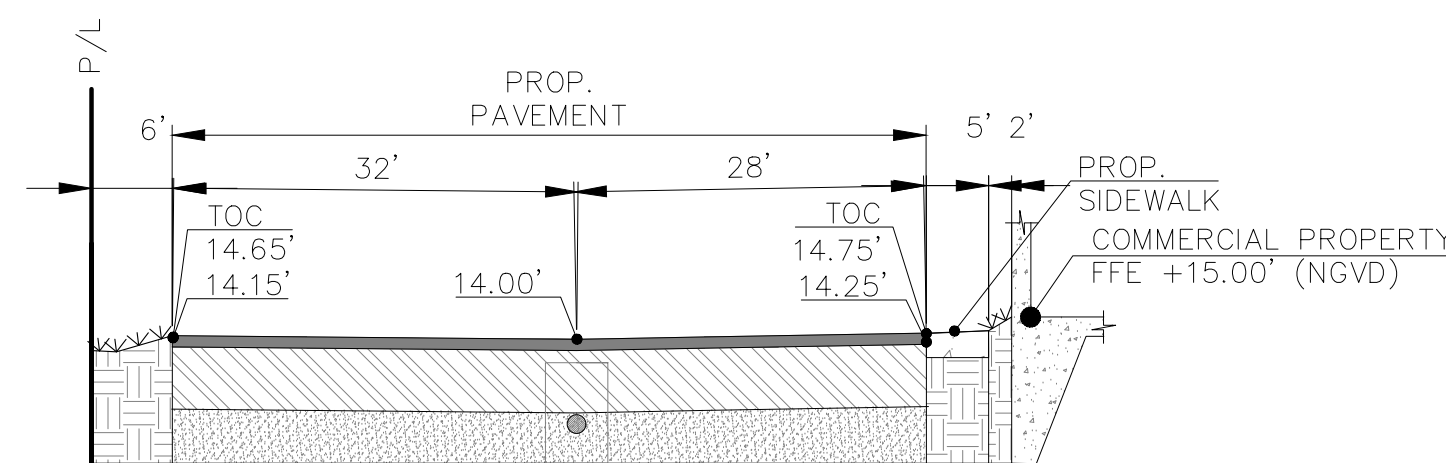
CROSS SECTION D-D

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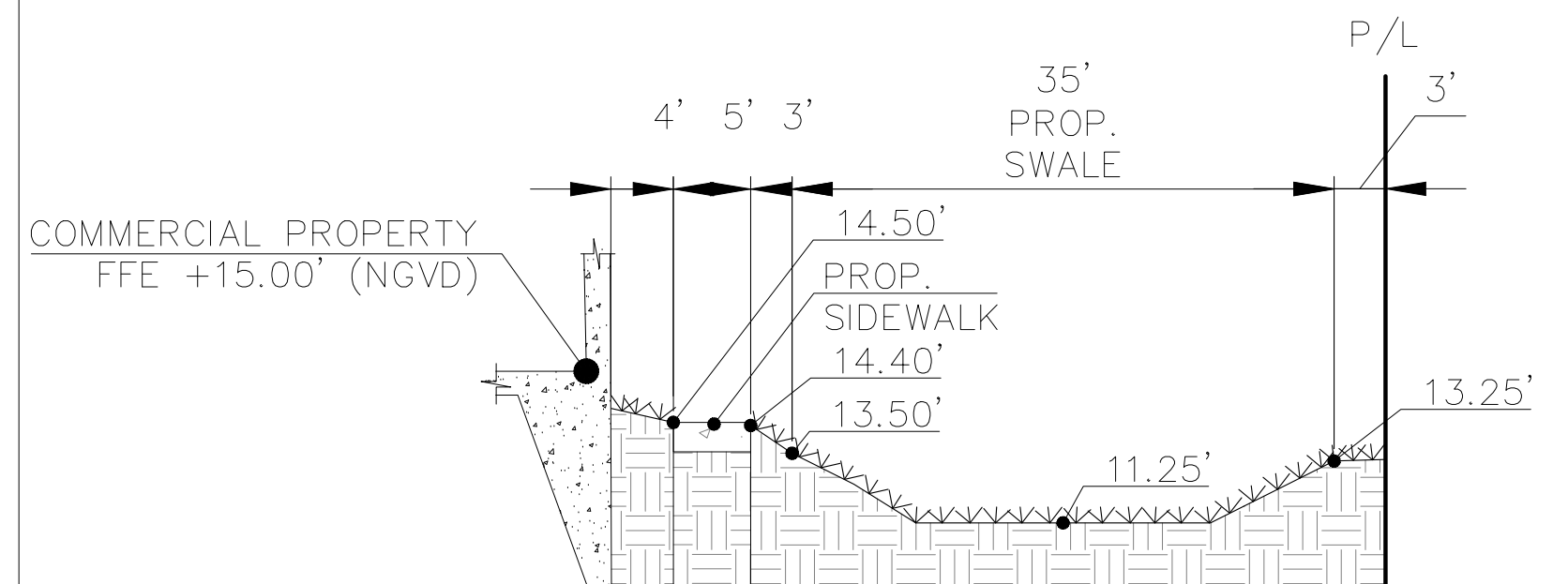
CROSS SECTION E-E

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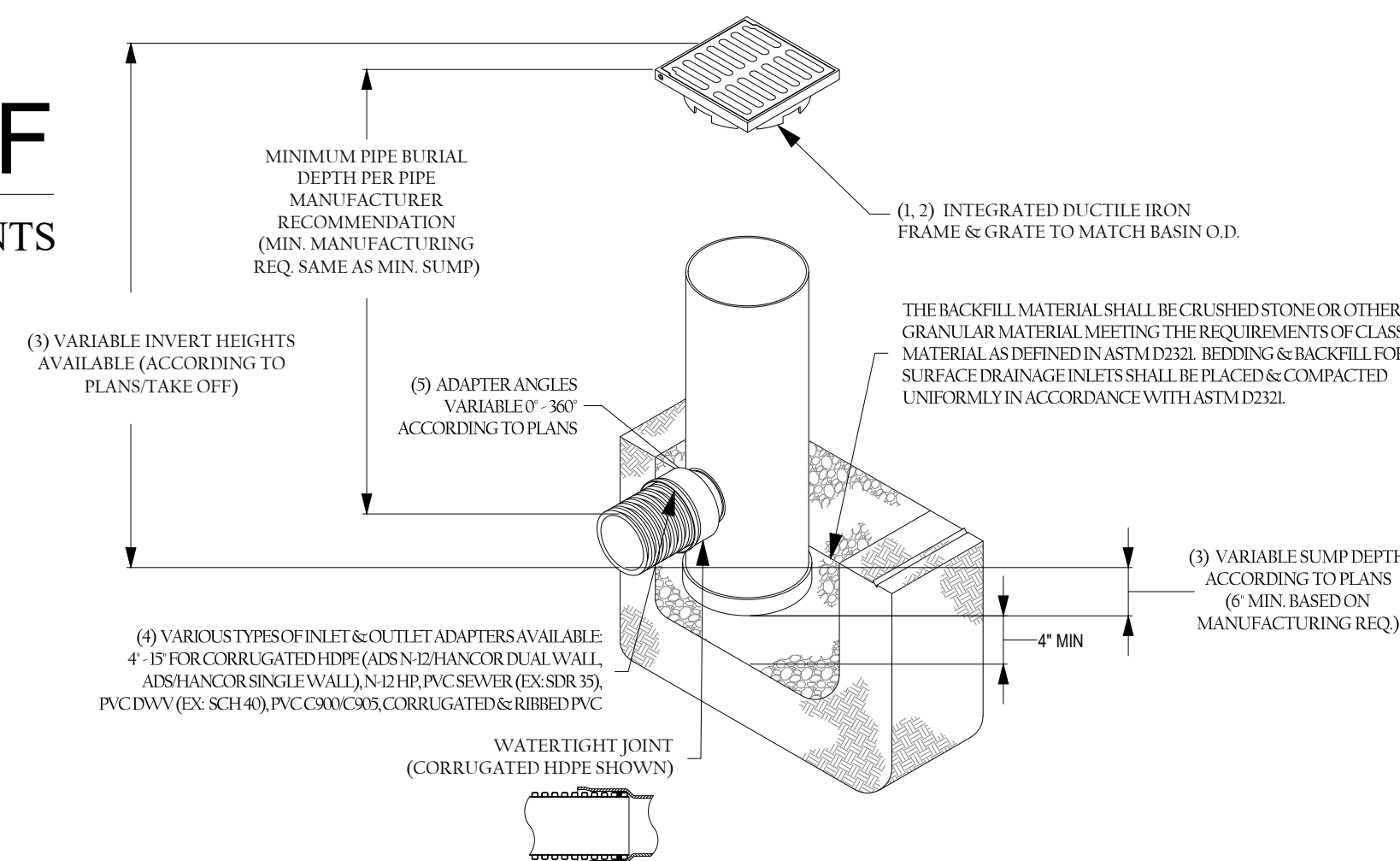
CROSS SECTION C-C

NTS



CROSS SECTION F-F

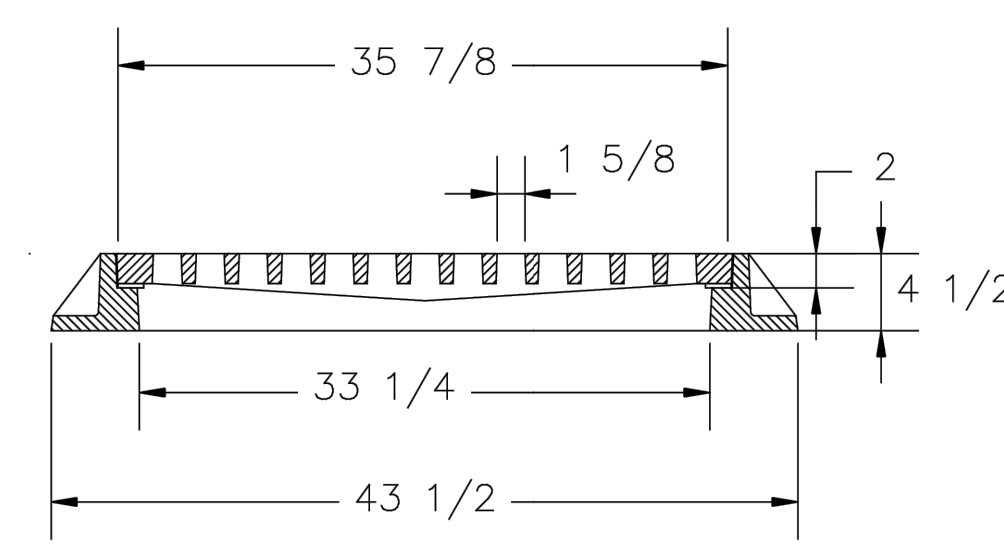
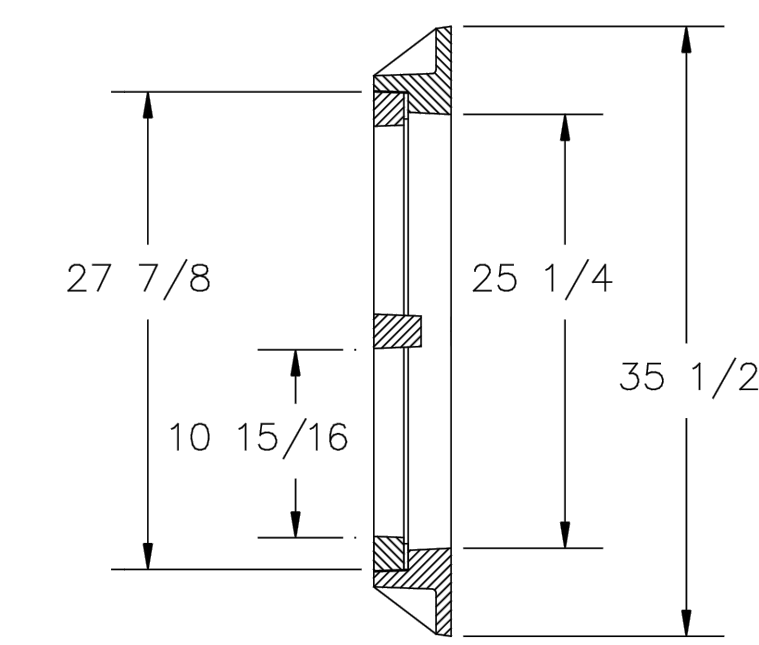
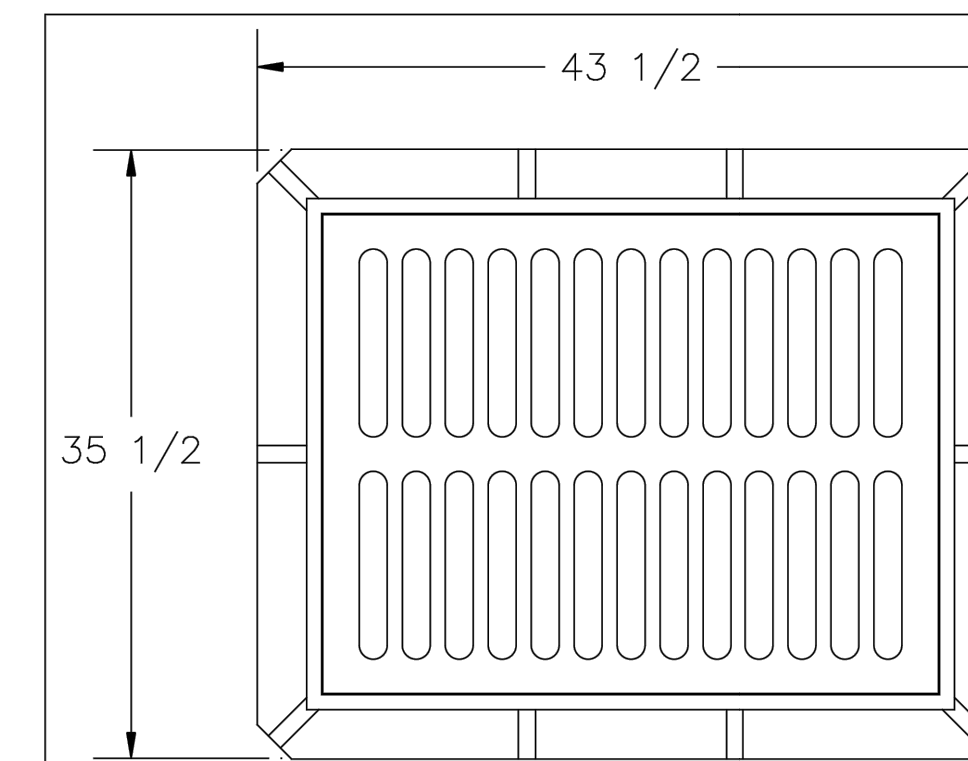
NTS



12" NYLOPLAST YARD DRAIN (TYPICAL)

NTS

- GRATES SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-30-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-30-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS.
- DRAINAGE CONNECTIONS TO SUBJOINT TIGHTNESS SHALL CONFORM TO ASTM D1557 FOR CORRUGATED HDPE (ADSN 12 HANCOR DUAL WALL), N12 HP & PVC SEWER.
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS.

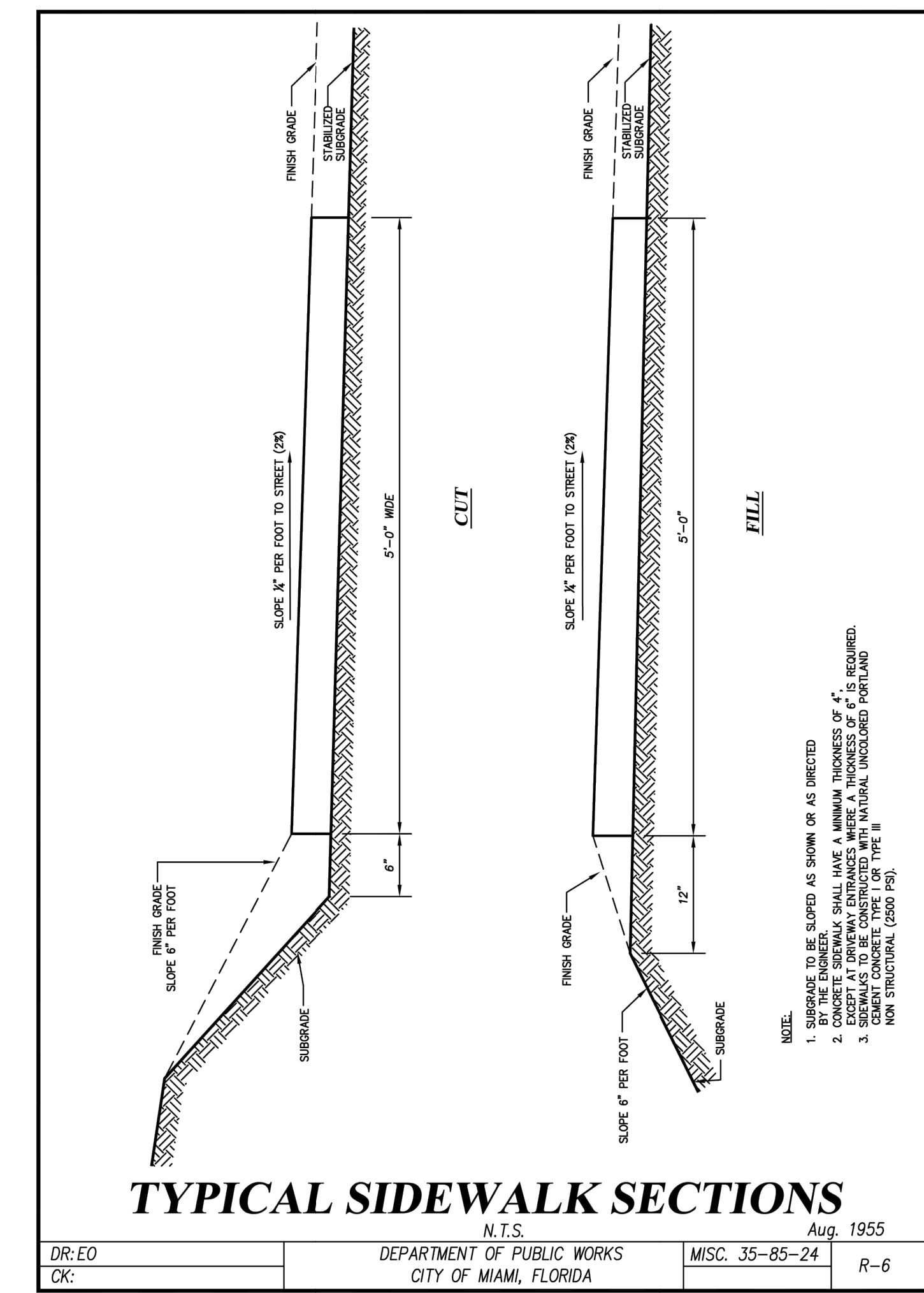


- NOTES:
- MATERIAL: ASTM-A48 CLASS 35B GRAY IRON.
 - FRAME WT: 335 LBS. APP.
 - GRATE WT: 235 LBS. APP.

U.S. FOUNDRY & MFG. CORP.
 MEDLEY, FLORIDA

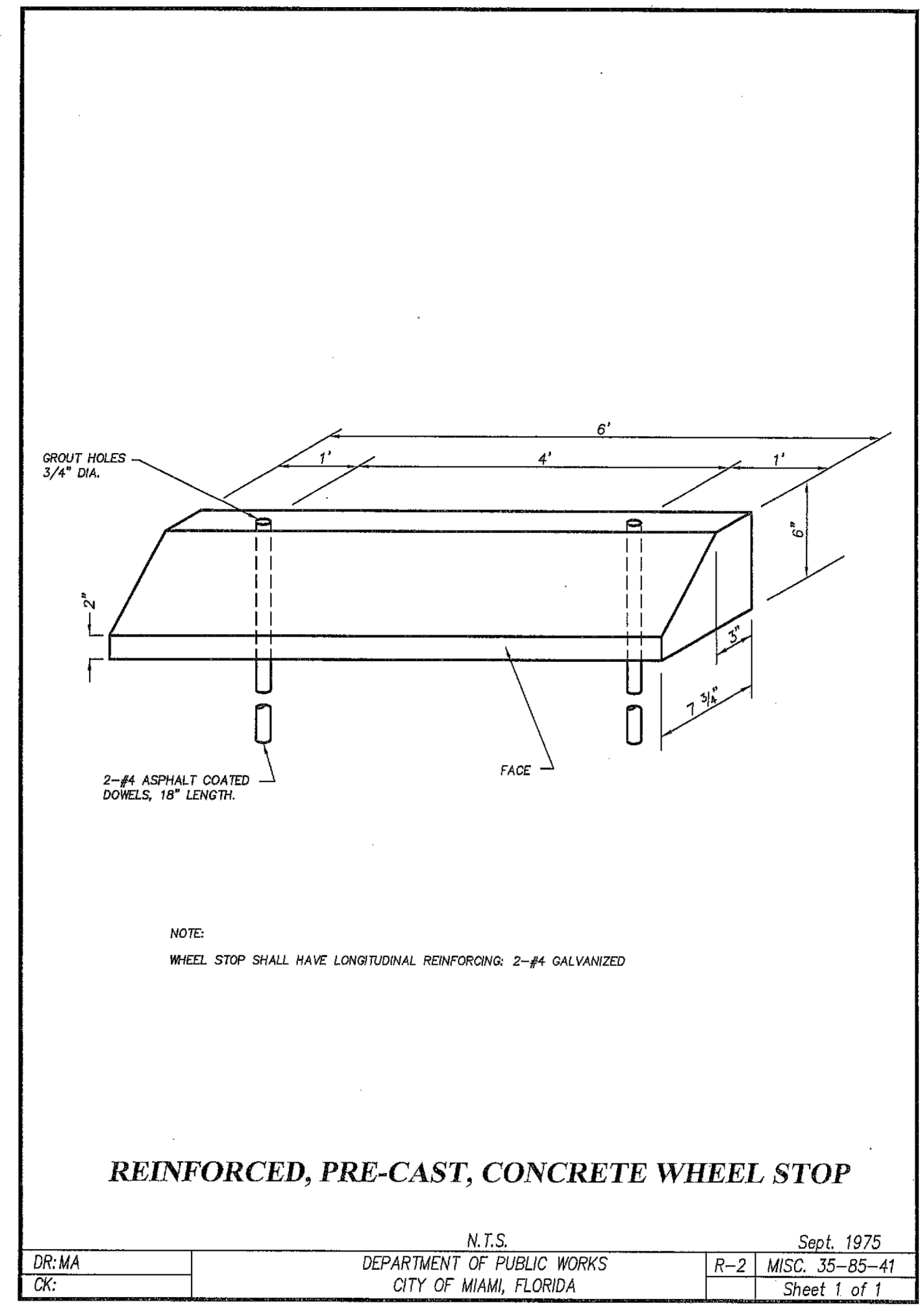
USF 4155 FRAME & 6210 GRATE

DWN. BY: EW SCALE: 1" = 1' DATE: 8/31/94
 CHK. BY: DWG. NO: A1289 REV.:



TYPICAL SIDEWALK SECTIONS

DR:EO	N.T.S.	Aug. 1955
CK:	DEPARTMENT OF PUBLIC WORKS CITY OF MIAMI, FLORIDA	MISC. 35-85-24 R-6



REINFORCED, PRE-CAST, CONCRETE WHEEL STOP

DR:MA	N.T.S.	Sept. 1975
CK:	DEPARTMENT OF PUBLIC WORKS CITY OF MIAMI, FLORIDA	R-2 MISC. 35-85-41 Sheet 1 of 1

MR	R.S.	09/25/2020	BUILDING DEPT. COMMENTS
DESIGNED BY		05/19/2021	MIAMI DADE DEPARTMENT OF TRAFFIC COMMENTS
MR	R.S.	09/08/2023	ENTRY REVISION
DRAWN BY		11/29/2023	RESPONSE TO COUNTY COMMENTS
MR			
CHECKED BY			
RR			
APPROVED BY	No.	DATE	REVISIONS

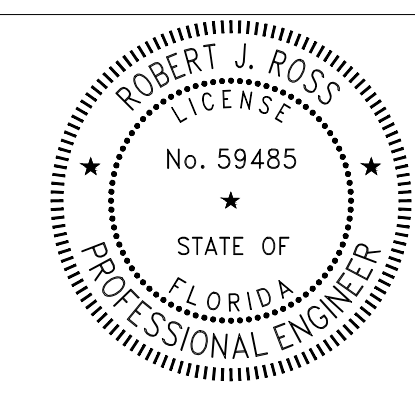
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 CERTIFICATE OF AUTHORIZATION No. 9808

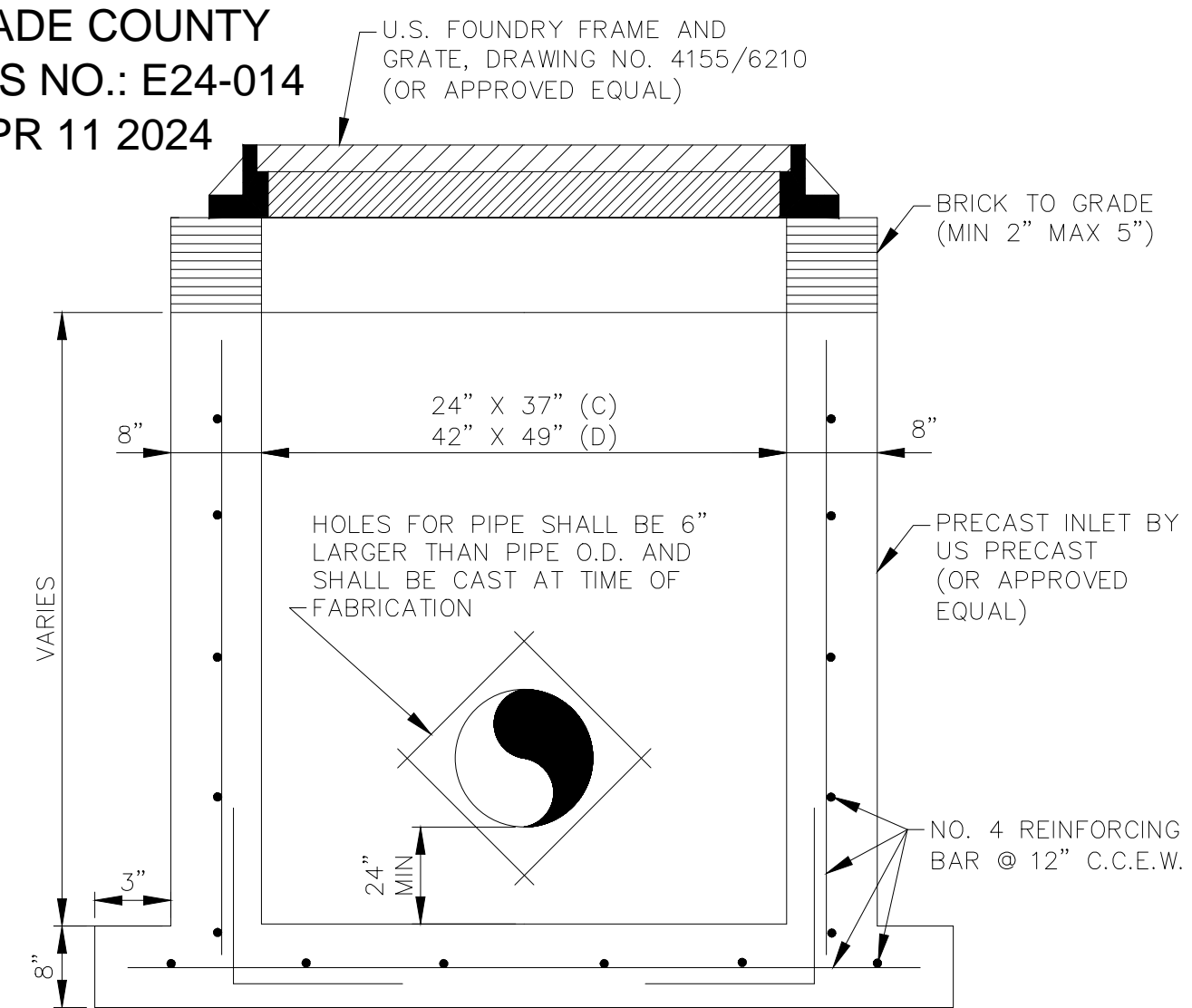


Date: 12/6/2023

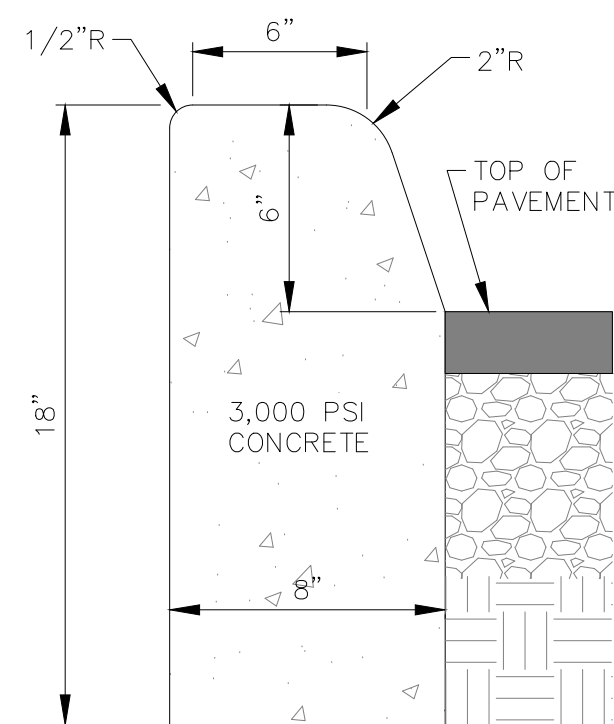
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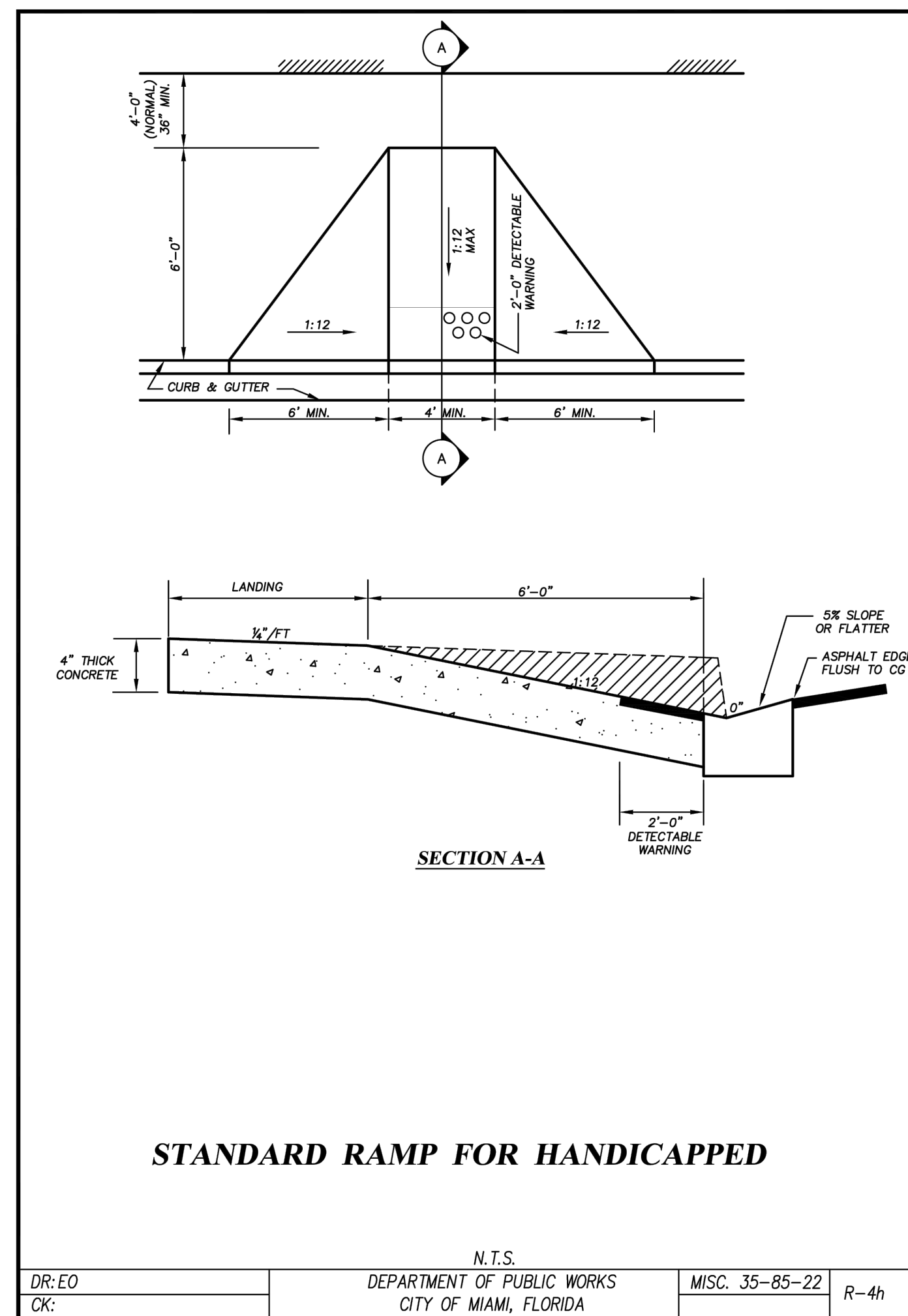
MIAMI-DADE COUNTY
 PROCESS NO.: E24-014
 DATE: APR 11 2024
 BY: ISA



CATCH BASIN (TYPICAL)
NTS

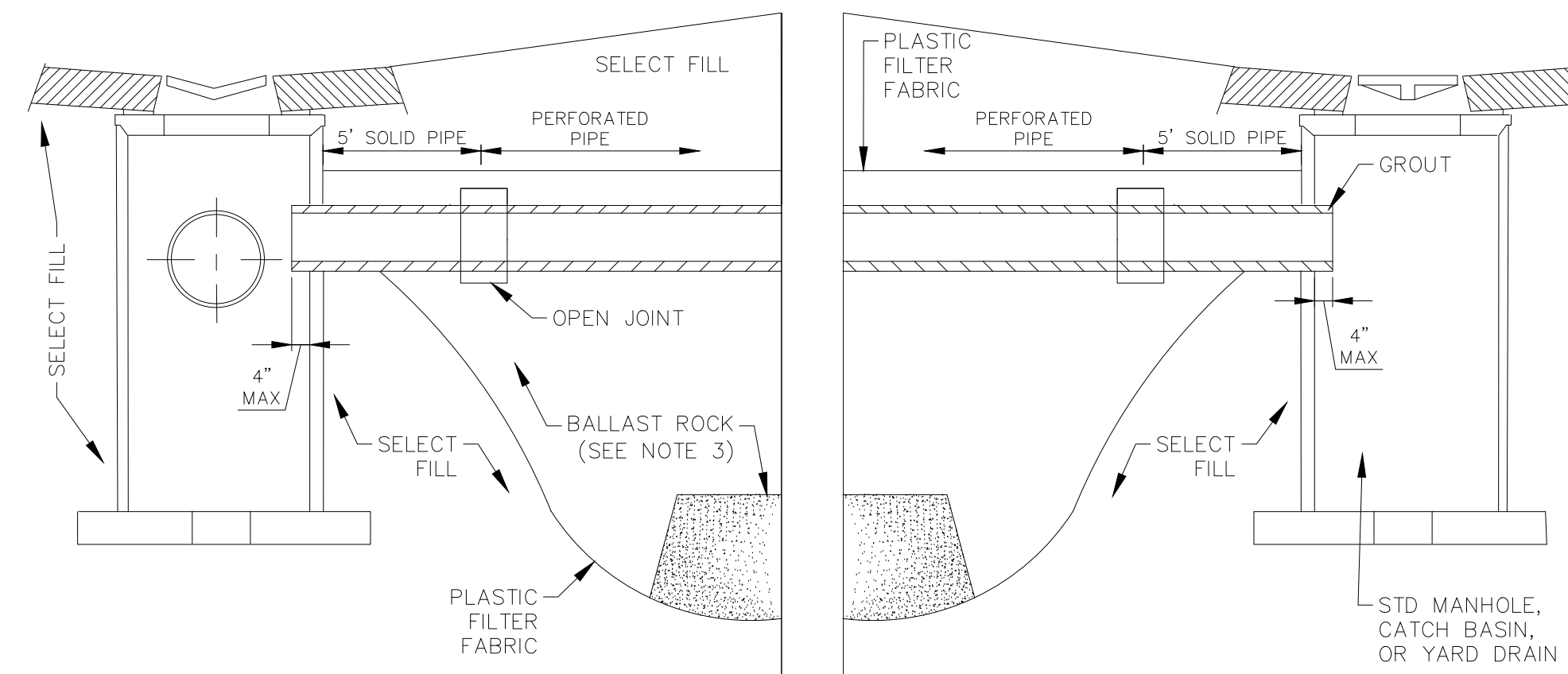


6" CURB (TYPE "D")
NTS



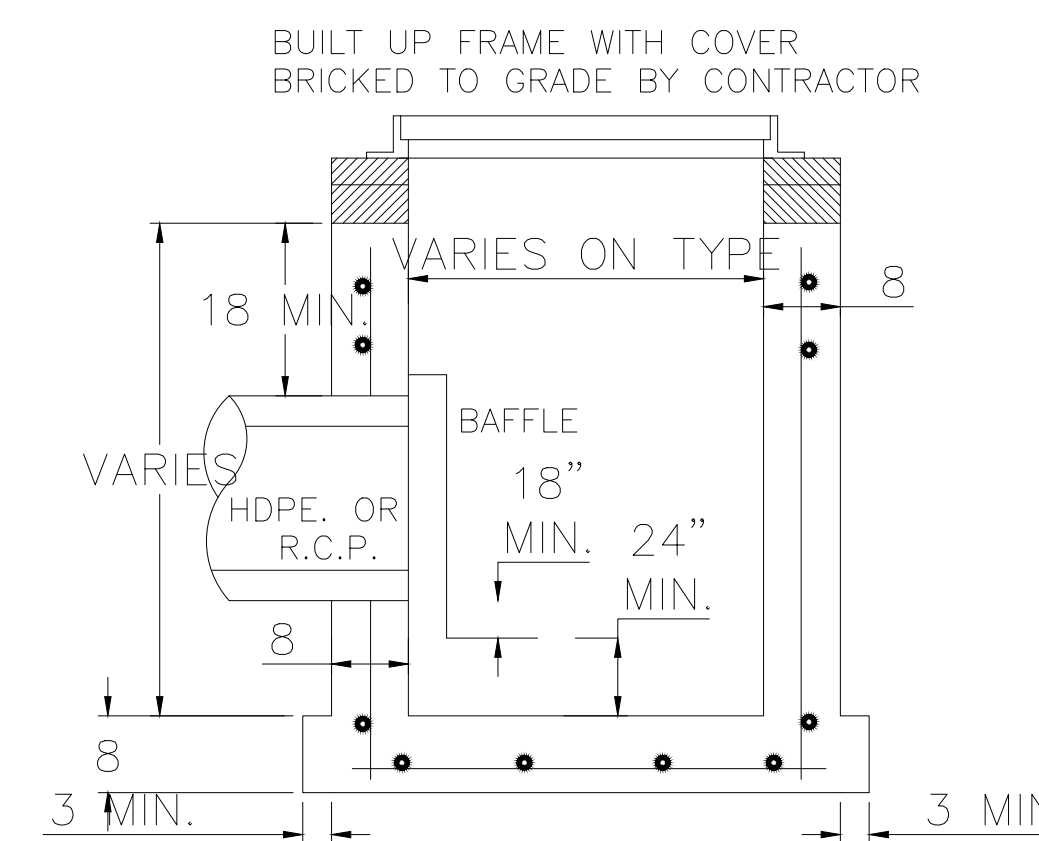
STANDARD RAMP FOR HANDICAPPED

N.T.S.
 DR:EO DEPARTMENT OF PUBLIC WORKS MISC. 35-85-22 R-4h
 CK: CITY OF MIAMI, FLORIDA



- NOTES
1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP, AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR DIRECTED BY THE ENGINEER.
 2. IN MIAMI-DADE COUNTY, THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
 4. INVERT ELEVATIONS TO BE AS SHOWN IN W.C. 2.2 (AVERAGE OCTOBER GROUND WATER LEVEL).
 - 4.1. IF THIS DETAIL IS TO BE USED FOR PRETREATMENT OF STORMWATER RUN-OFF, THE INVERT OF PIPE TO BE AS SHOWN IN W.C. 2.2.
 - 4.2. IF PRETREATMENT HAS BEEN PROVIDED THROUGH OTHER MEANS THE INVERT OF PIPE CAN BE LOWER THAN SHOWN IN W.C. 2.2.
 5. REFER TO PLAN FOR TRENCH WIDTH.

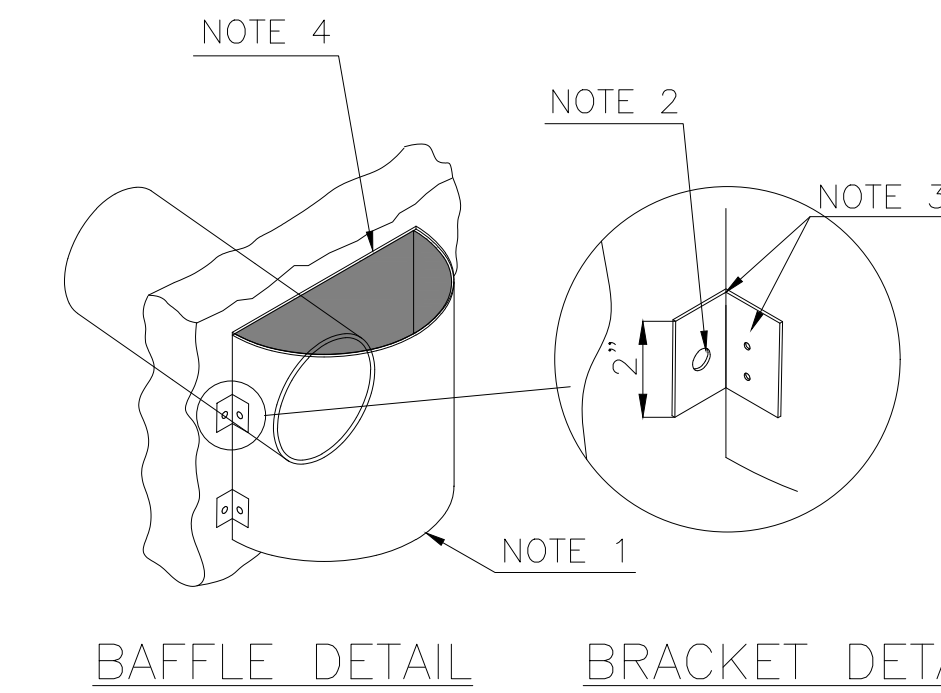
EXFILTRATION TRENCH
LONGITUDINAL SECTION
NTS



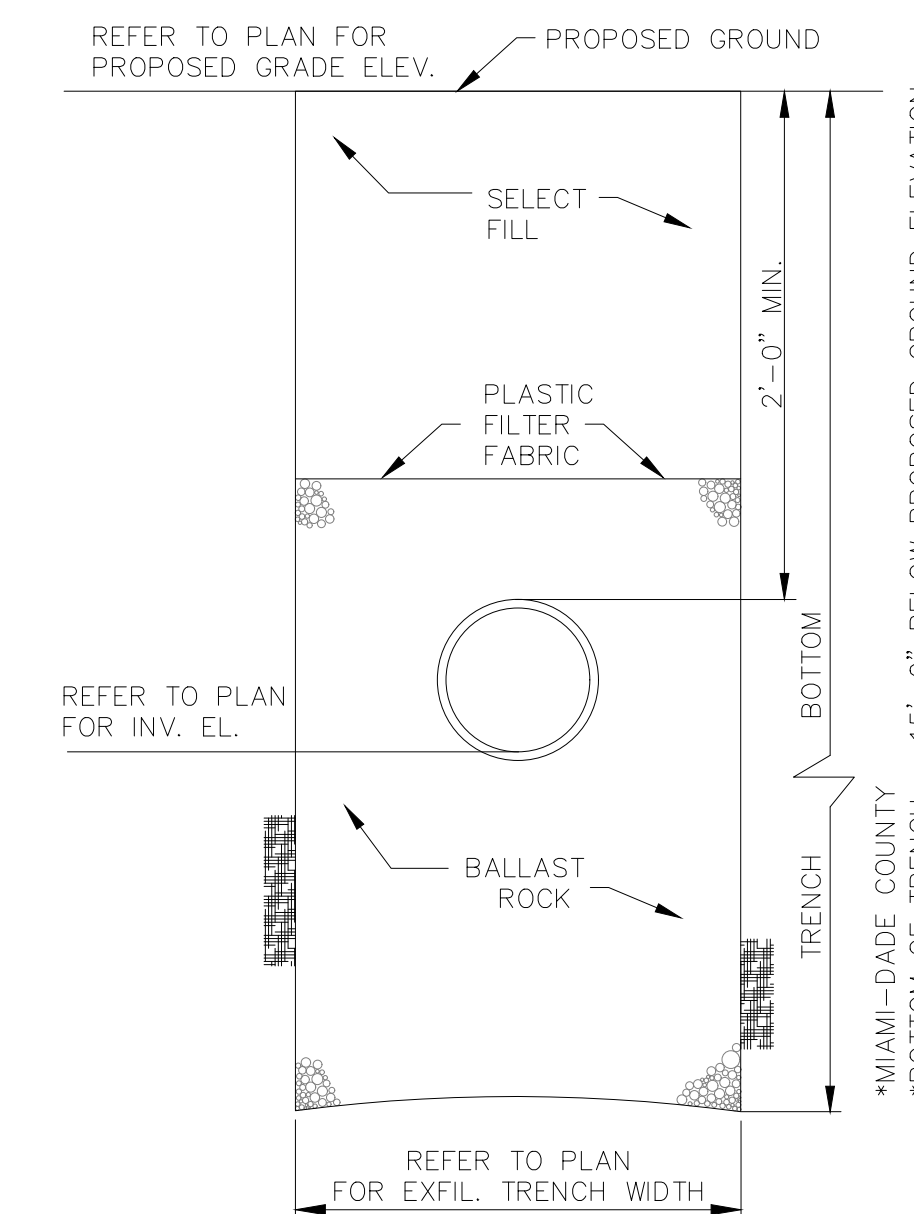
CATCH BASIN (USP 3-3.0)

- NOTES
- 1) MINIMAL CONC. STRENGTH FOR ALL CATCH BASINS AND MANHOLE STRUCTURES SHALL BE 4000 PSI.
 - 2) CONTRACTOR IS RESPONSIBLE FOR FINAL ELEVATION AND LOCATION ADJUSTMENTS OF CATCH BASINS, GRATES, MANHOLES DUE TO FIELD CONSTRAINTS.
 - 3) THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.

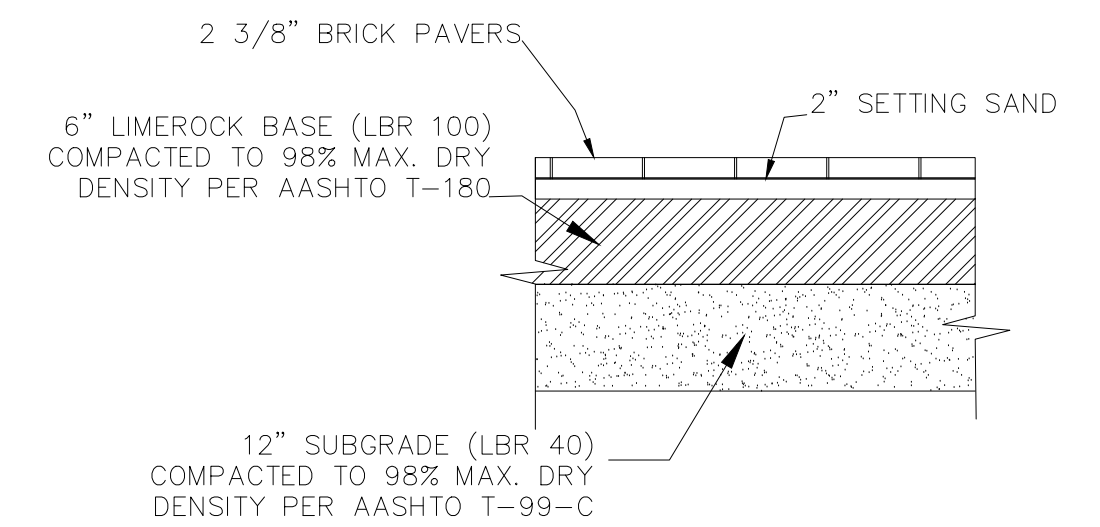
ALUMINUM BAFFLE DETAIL



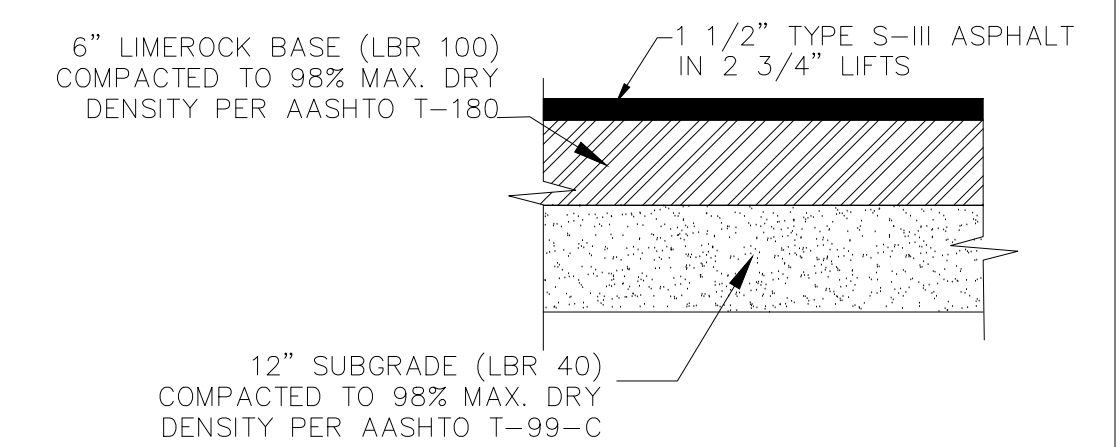
- NOTES
- 1) BAFFLE SHALL BE C.M.P. OR C.A.P. SECTION (OUTFALL DIAMETER PLUS 6").
 - 2) 1/2" GALV. WEDGE ANCHORS (ULT. PULLOU 6000, ULT. SHEAR 5900.)
 - 3) WELD OR 2-3/8" THRU BOLTS
 - 4) BOLTED TO WALL WITH TOP CAPPED. (WATER TIGHT)



EXFILTRATION TRENCH
TRANSVERSE SECTION
NTS



TYPICAL BRICK PAVER SECTION
NTS



TYPICAL ASPHALT
PAVEMENT SECTION
NTS

MR	R.S.	09/25/2020	BUILDING DEPT. COMMENTS
DESIGNED BY		05/19/2021	MIAMI DADE DEPARTMENT OF TRAFFIC COMMENTS
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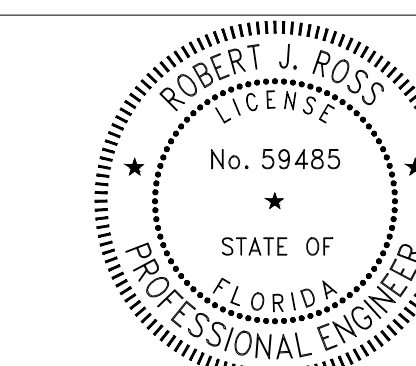
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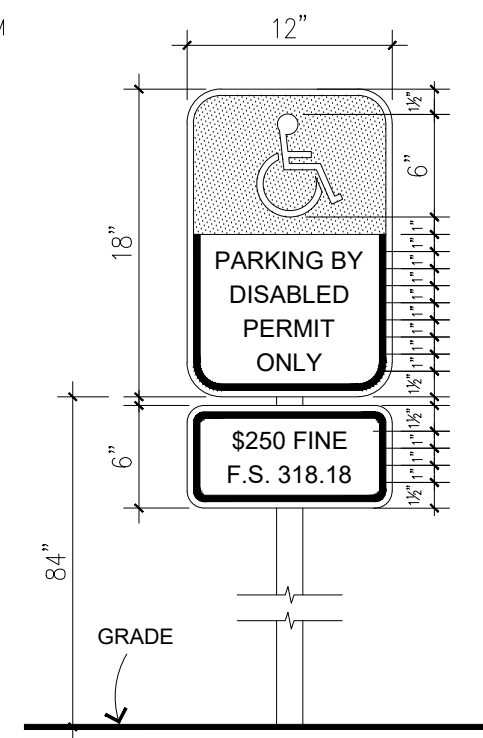
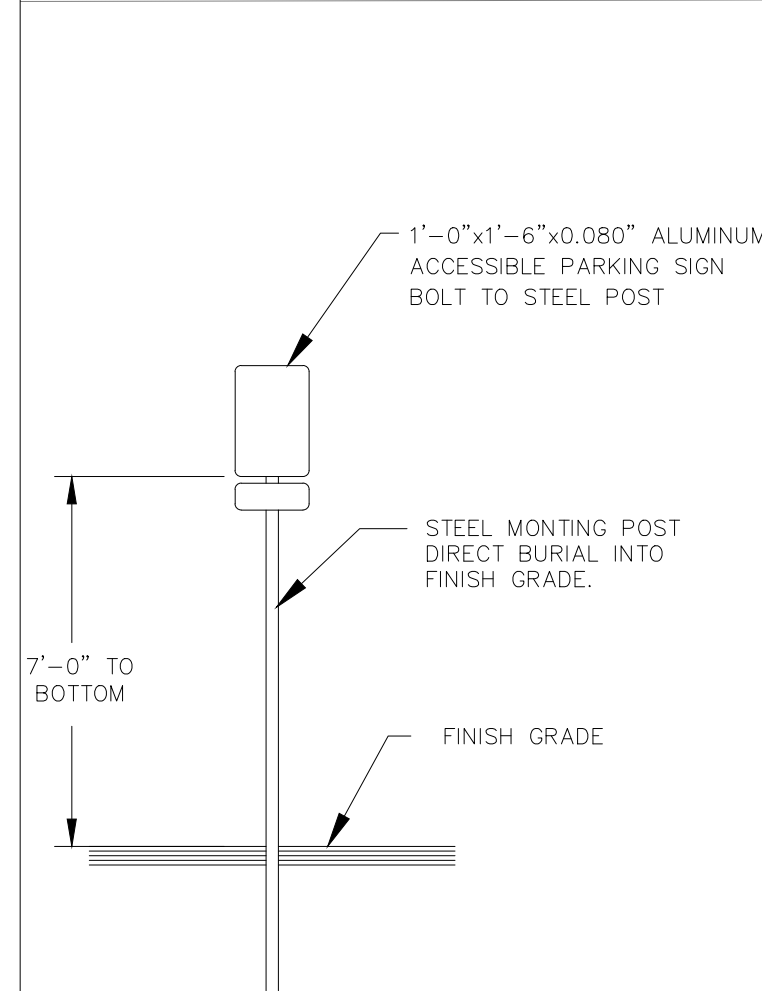
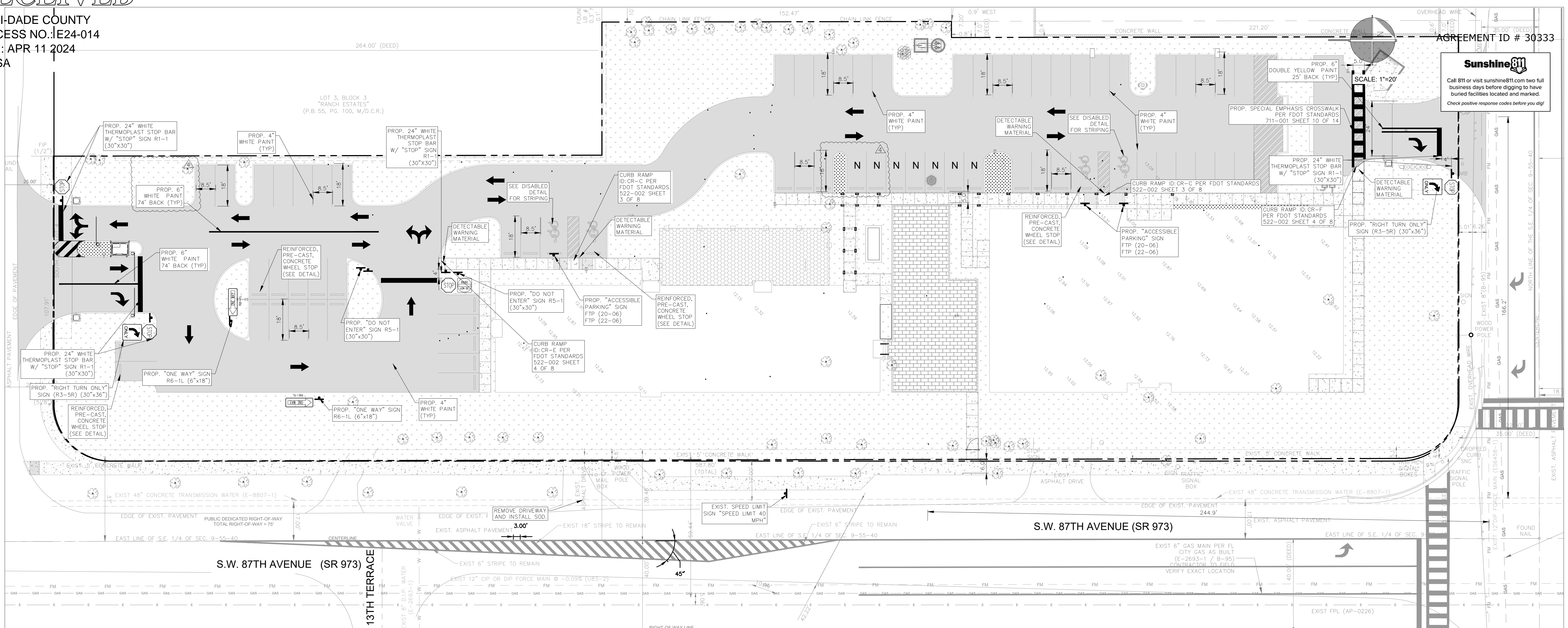
Date: 12/6/2023

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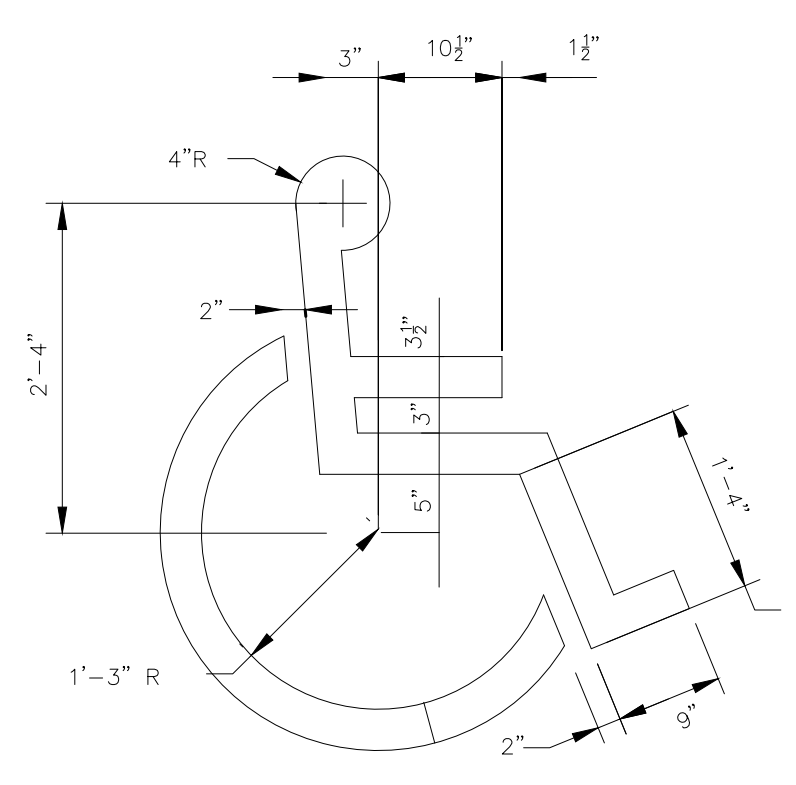


ACCESSIBLE PARKING SIGN
NTS

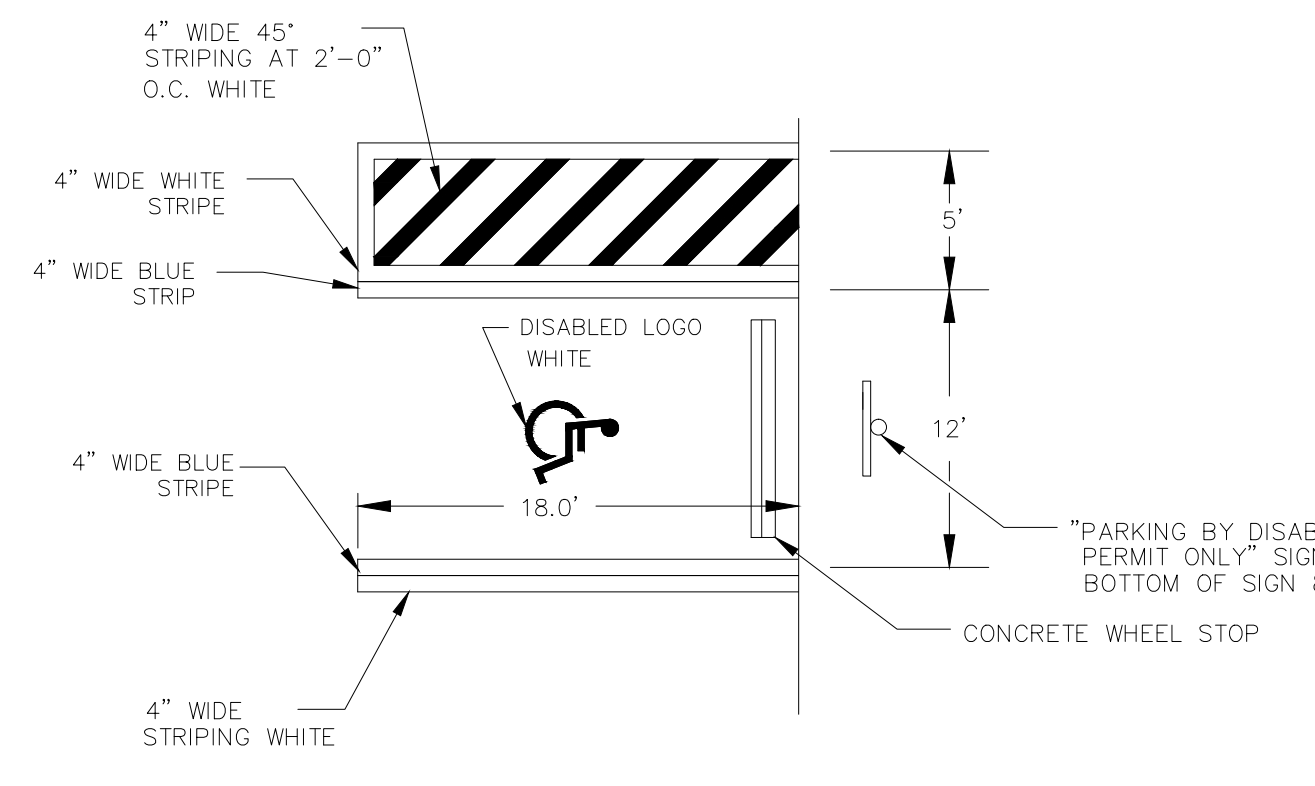
NOTES:
SIGNS TO BE .080\"/>

THE TOP SIGN TO MEET REQUIREMENTS OF FDOT DESIGN STANDARD FTP-20-06, 12\"/>

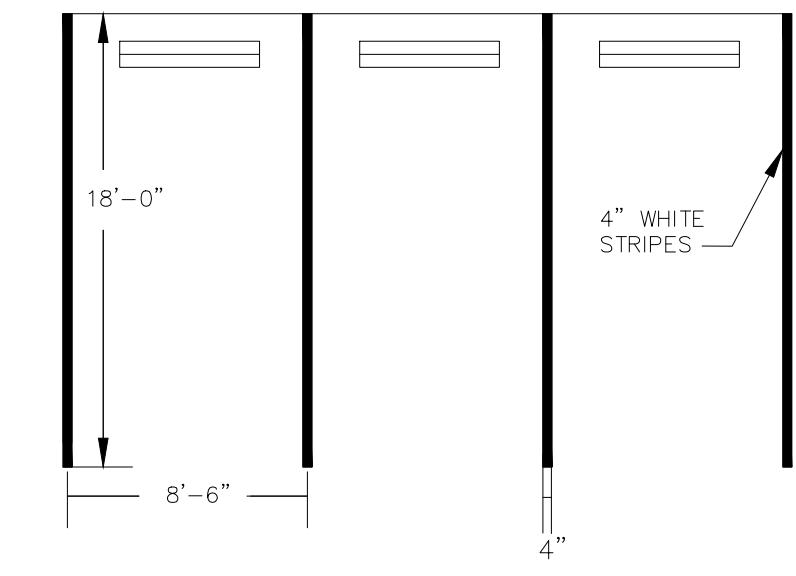
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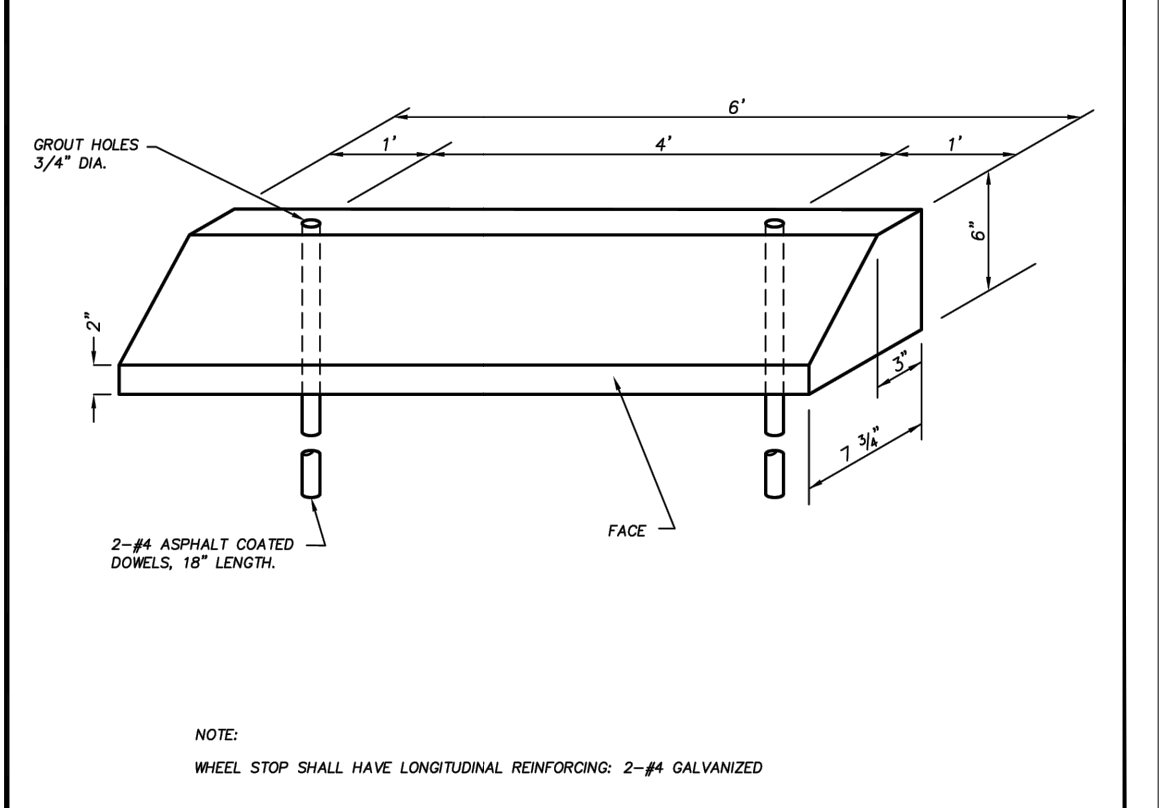
UNIVERSAL SYMBOL OF ACCESSIBILITY
NTS



DISABLED PARKING (TYPICAL)
NTS



PARKING STALL (TYPICAL)
NTS



REINFORCED, PRE-CAST, CONCRETE WHEEL STOP

MR	R.S.	09/25/2020	BUILDING DEPT. COMMENTS
DESIGNED BY		05/19/2021	MIAMI DADE DEPARTMENT OF TRAFFIC COMMENTS
MR	R.S.	09/08/2023	ENTRY REVISION
DRAWN BY		11/29/2023	RESPONSE TO COUNTY COMMENTS
MR			
CHECKED BY			
RR			
APPROVED BY	No.	DATE	REVISIONS

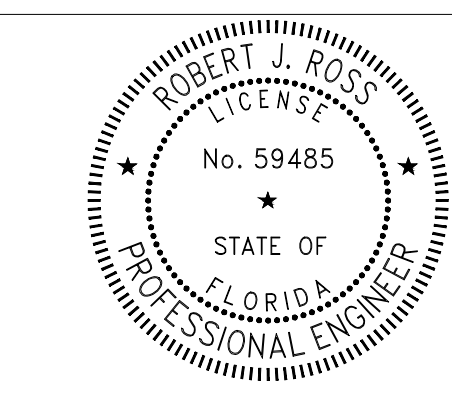
CHABAD OF KENDALL AND
PINECREST
8700 SW 112 STREET
MIAMI FL 33176



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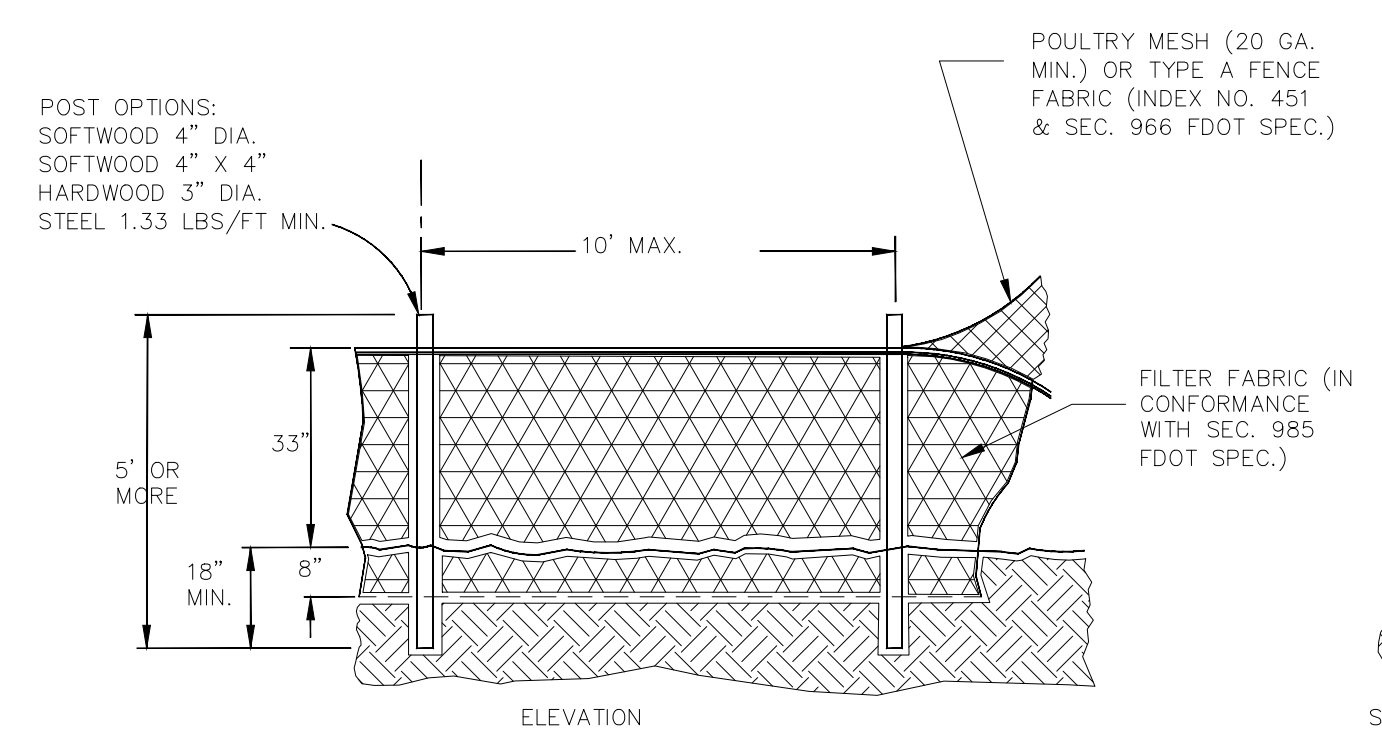
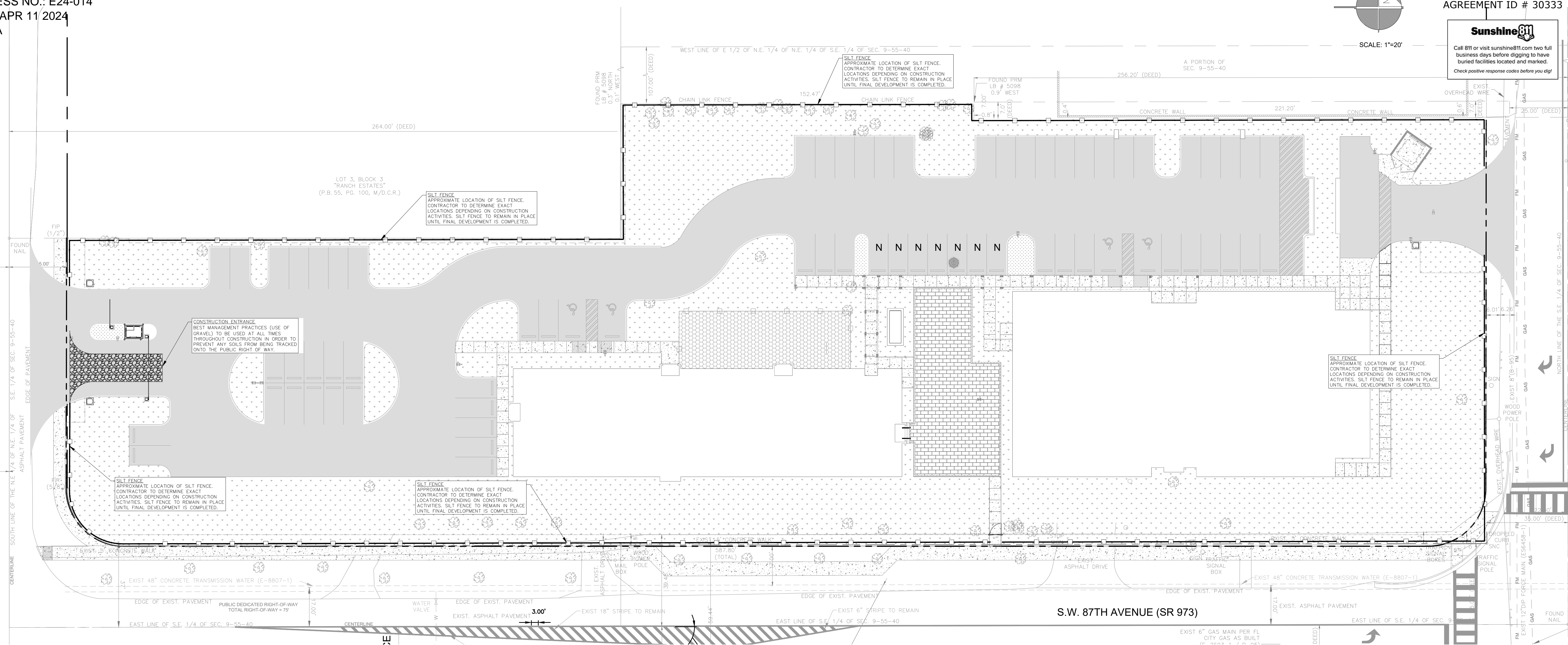
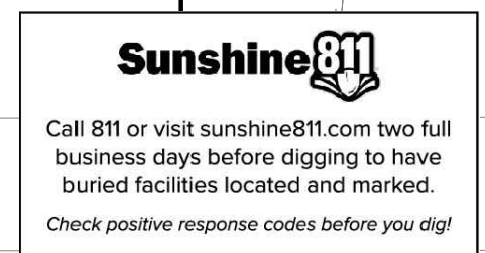
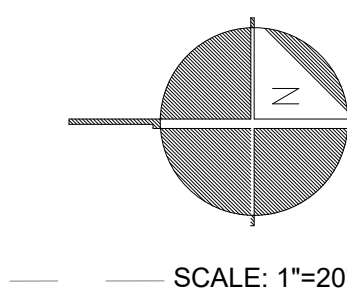
3325 S. UNIVERSITY DRIVE, SUITE 111
DAVIE, FLORIDA 33328
(954)318-0624 (954)358-0190 FAX
CERTIFICATE OF AUTHORIZATION No. 9808



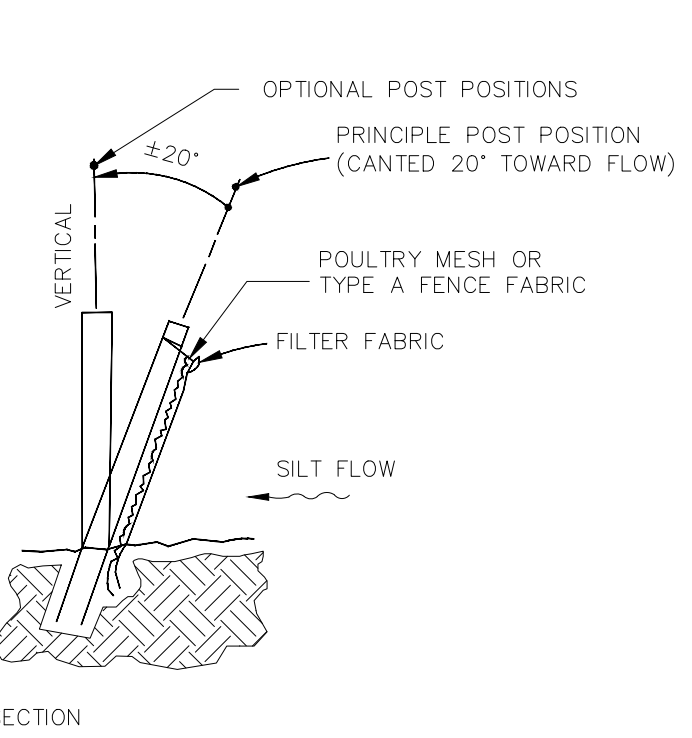
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PAVEMENT MARKING AND SIGNAGE PLAN

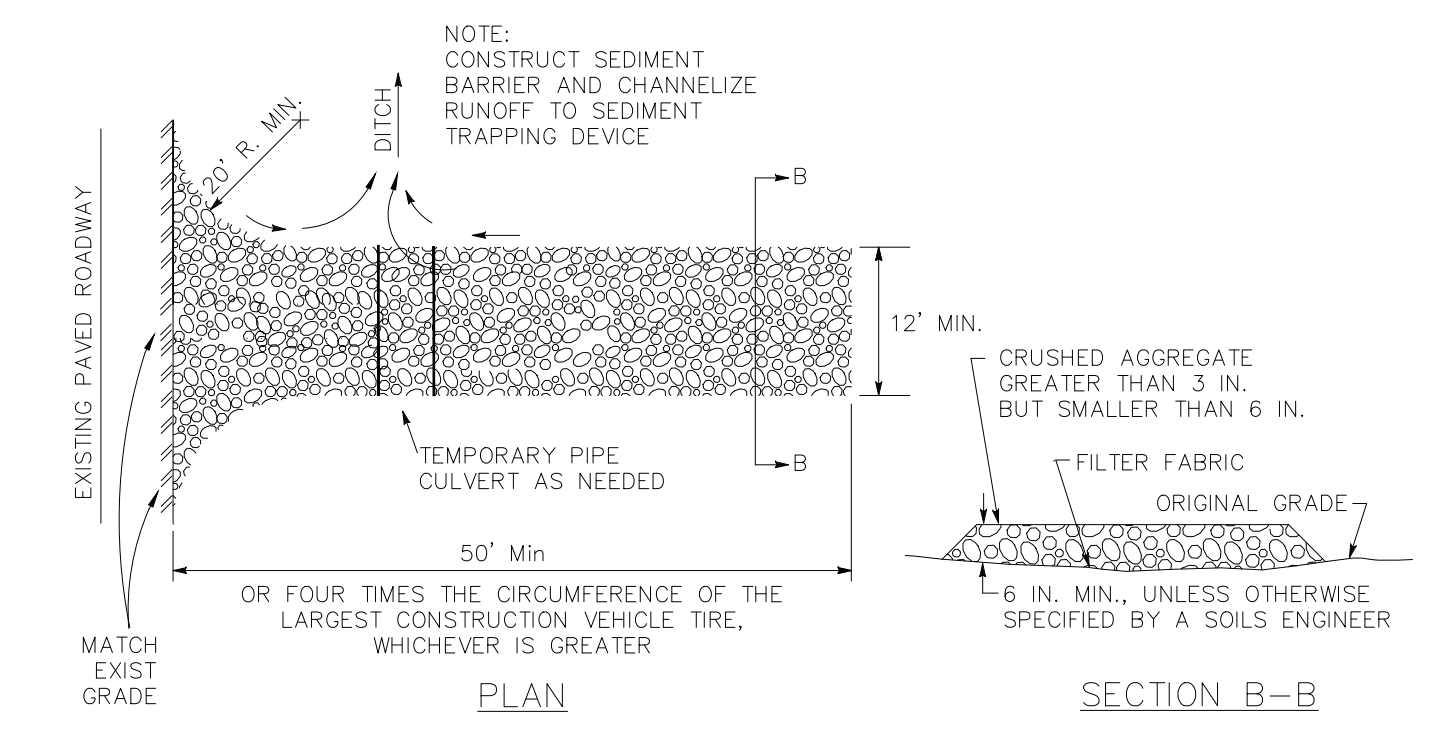
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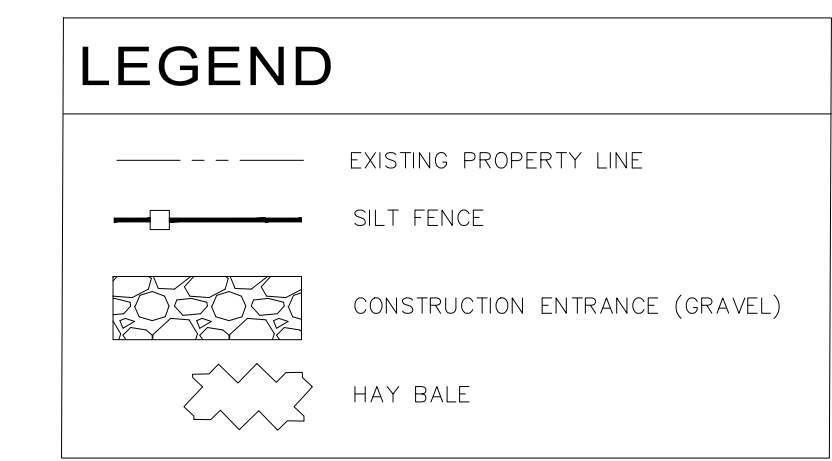
TYPE IV SILT FENCE
NTS



CONSTRUCTION ENTRANCE (TYPICAL)
NTS



SILT FENCE ATTACHMENT
PLAN VIEW NTS



MR	R.S.	09/25/2020	BUILDING DEPT. COMMENTS
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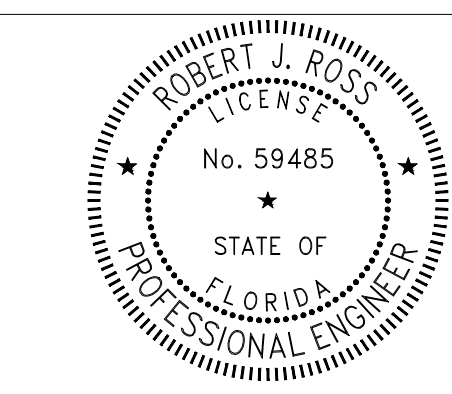
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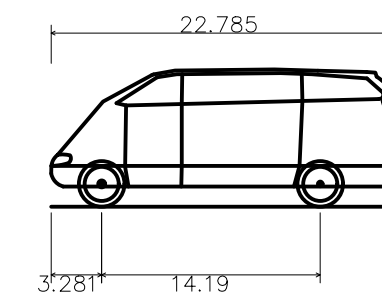
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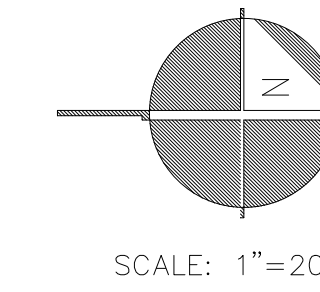
Date: 12/6/2023

POLLUTION PREVENTION CONTROL PLAN

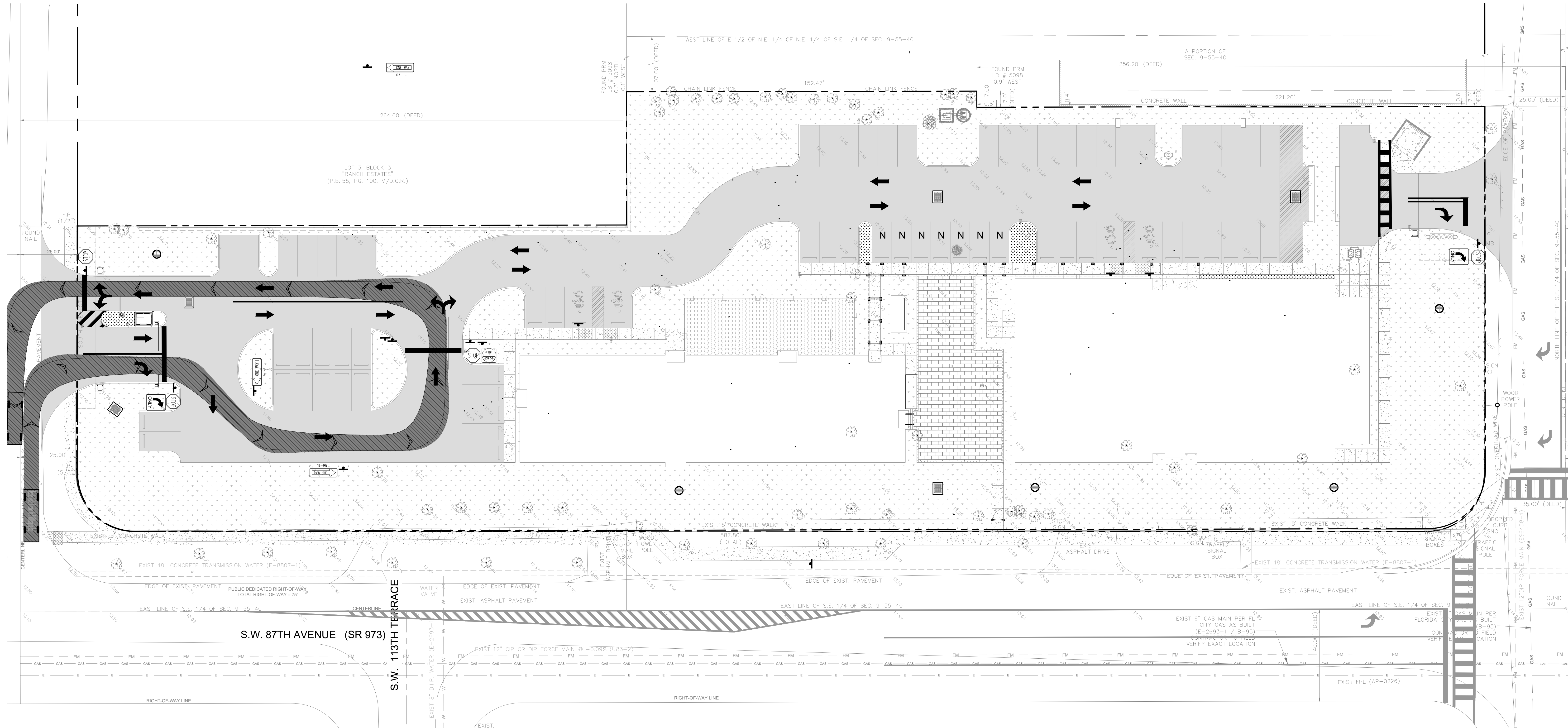
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Mercedes Sprinter Traveliner Van 315CDI Long High Roof
Overall Length 22.785ft
Overall Width 6.539ft
Overall Body Height 8.909ft
Min Body Ground Clearance 1.312ft
Track Width 6.539ft
Lock-to-lock time 5.00s
Wall to Wall Turning Radius 25.591ft



Sunshine 811
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!



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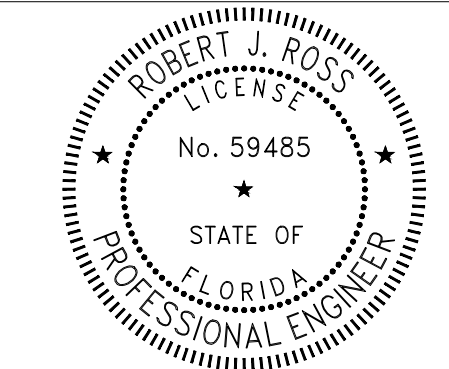
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Date: 12/6/2023

VEHICLE TRACKING ANALYSIS PLAN

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KEN GARDNER FL LA #1569
GSLA DESIGN

NEW CONSTRUCTION PLANS FOR:
CHABAD KENDALL & PINECREST
8700 SW 112 Street
MIAMI, FL 33176

CLIENT: CHABAD CENTER OF KENDALL INC

REV	DATE	DESCRIPTION
1	11-2-2020	CITY COMMENTS
2	1-11-2021	FDOT SUBMITTAL
3	11-10-2022	OWNER REVISION
4	09-11-2023	SITE PLAN REVISIONS
9	11-29-2023	CITY COMMENTS

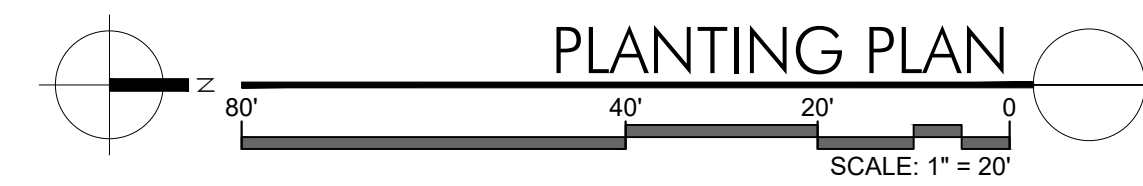
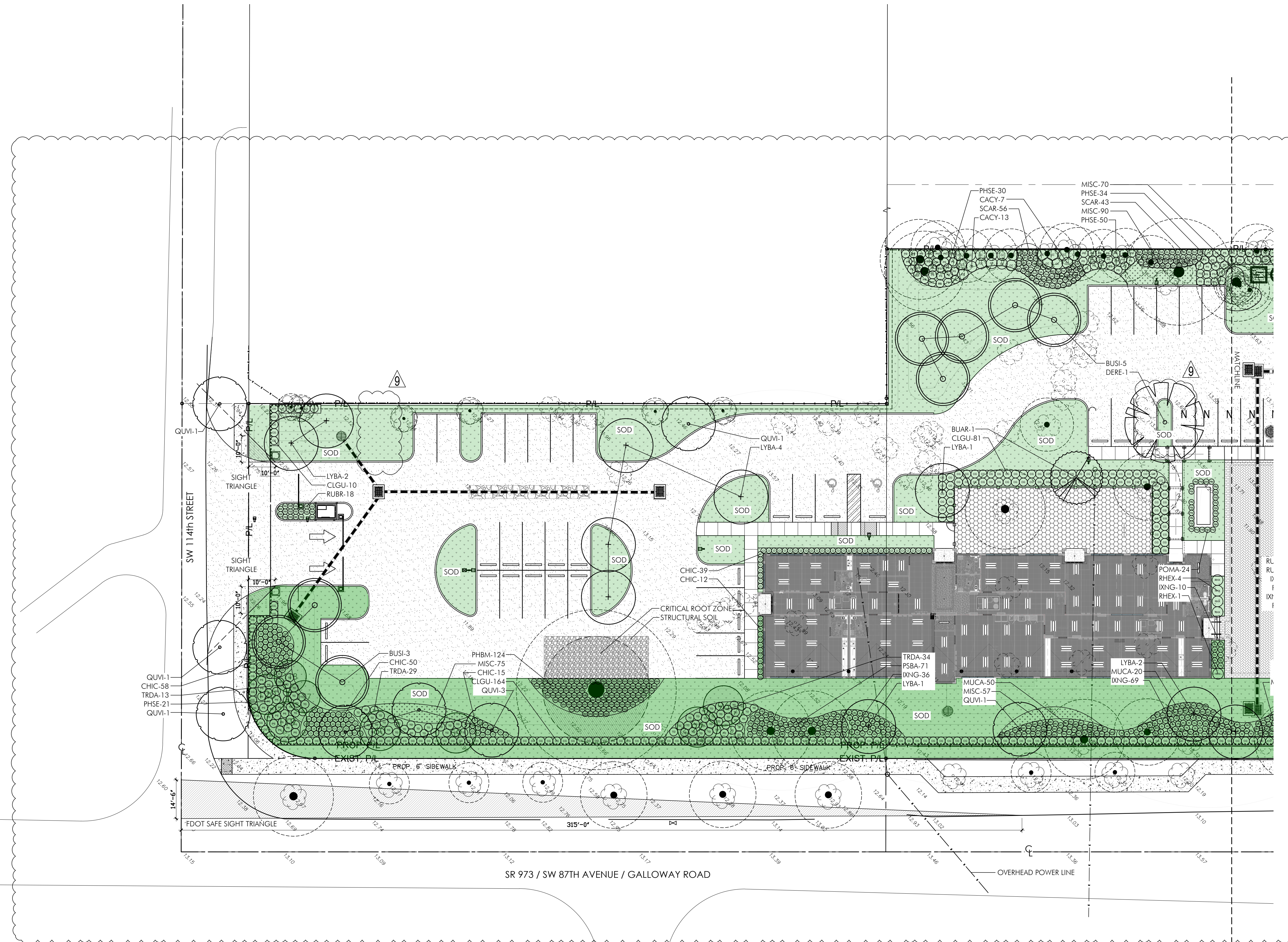
DESIGN DELIVERABLE: CHECK SET
ISSUE DATE: 04/09/19

PROJECT NUMBER: 1068-100419
DRAWN BY: CG
CHECKED BY: KEG

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PLANTING PLAN

SHEET NUMBER:
LA-2.01





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KEN GARDNER FL LA #1569
 GSLA DESIGN

NEW CONSTRUCTION PLANS FOR:
CHABAD KENDALL & PINECREST
 8700 SW 112 Street
 MIAMI, FL 33176

CLIENT: CHABAD CENTER OF KENDALL INC

REV	DATE	DESCRIPTION
1	11-2-2020	CITY COMMENTS
2	11-11-2021	FIX OF SUBMITTAL
3	11-10-2022	OWNER REVISION
4	09-11-2023	SITE PLAN REVISIONS

DESIGN
 DELIVERABLE: CHECK SET
 ISSUE DATE: 04/09/19

PROJECT NUMBER: 1068-100419

DRAWN BY: CG

CHECKED BY: KEG

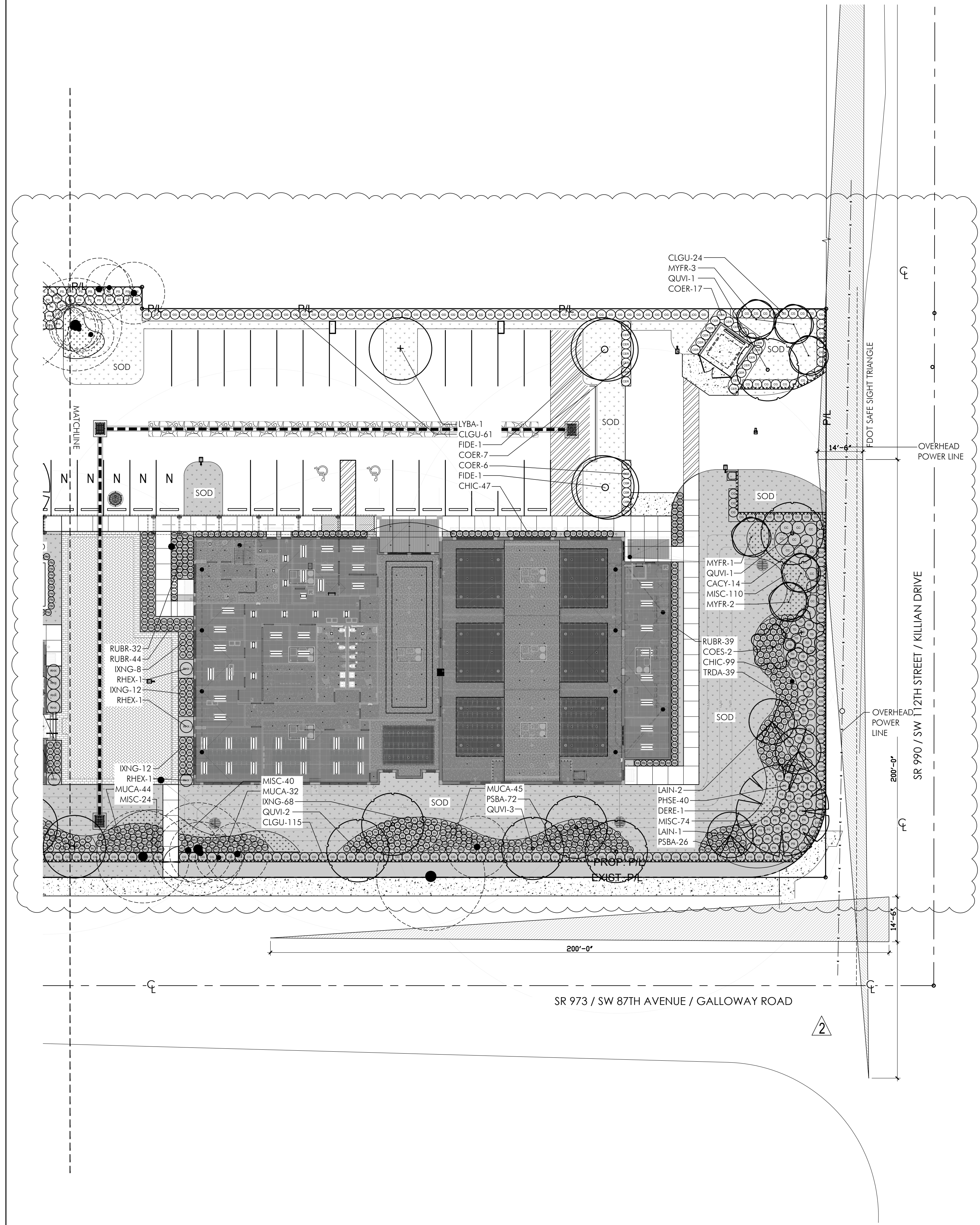
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SHEET TITLE:

PLANTING PLAN

SHEET NUMBER:

LA-2.02



PLANT LIST				
KEY	PLANT NAME	QTY.	UT.	SIZE
TREES				
BUAR	Bulnesia arborea ...Verawood	1	ea.	12' tall x 5' spread, 2" DBH
BUSI	Bursera simaruba ...Gumbo Limbo	8	ea.	12' tall x 5' spread, 2" DBH
COES	Conocarpus erectus 'Sericeus' ...Silver Buttonwood	2	ea.	8' tall x 4'-5' spread, lifted to treeform, multi-trunk, 3 trunks max., (totaling 2" DBH)
DERE	Delonix regia ...Royal Poinciana	2	ea.	14' tall x 6' spread, 4" DBH
FIDE	Filicium decipiens ...Japanese Fern	2	ea.	12' tall x 5' spread, 2" DBH
LYBA	Lysitoma bahamensis ...Wild Tamarind	11	ea.	12' tall x 5' spread, 2" DBH
LAIN	Lagerstroemia indica ...Queens Crepe Myrtle	3	ea.	12' tall x 5' spread, multi trunk totalling 4" DBH
MYFR	Myrciathes fragrans ...Simpson's Stopper	6	ea.	8' tall x 4'-5' spread, lifted to treeform, Multitrunk (totaling 2" DBH)
QUVI	Quercus virginiana ...Live Oak	15	ea.	12' tall x 5' spread, 2" DBH
SHRUBS AND GROUNDCOVERS				
KEY	PLANT NAME	QTY.	UT.	SIZE
CACY	Capparis cynophallophora ...Jamaican Caper	34	ea.	24" x 24", install 36" o.c.
CHIC	Chrysobalanus icaco ...Red Tip Coccolum	320	ea.	24" x 24", install 30" o.c.
CLGU	Clusia guttifera ...Small Leaf Clusia	439	ea.	30"x24", install 36" o.c.
COER	Conocarpus erectus ...Green Buttonwood	30	ea.	36" x 24", install 36" o.c.
IXNG	Ixora 'Nora Grand' ...Ixora	215	ea.	24" x 24", 24" o.c.
MISC	Microsorium scolopendria ...Wart Fern	540	ea.	18"x18", install 18" o.c.
MUCA	Muhlenbergia capillaris ...Muhly Grass	190	ea.	18" x 18", full, install 24" o.c.
PHBM	Philodendron var. 'Burle marx' ...Burle Marx Philodendron	124	ea.	18"x18"
PHSE	Philodendron setoum ...Setoum	145	ea.	3 gallon cans, mature leaves, full, 36" o.c.
POMA	Podocarpus macrophyllus ...Podocarpus	24	ea.	3 gallon cans, mature leaves, full, 36" o.c.
PSBA	Psychotria bahamensis ...Bahamas Wild Coffee	169	ea.	24" x 24", install 24" o.c.
RHEX	Rhapis excelsa ...Lady Palm	8	ea.	5' tall OA, multi
RUBR	Ruellia brittoniana ...Mexican Bluebell	148	ea.	24" x 24", install 24" o.c.
SCAR	Schefflera arboricola 'Trinette' ...Variegated Arboricola	99	ea.	18" x 18", install 24" o.c.
TRDA	Tripsacum dactyloides ...Fakahatchee Grass	115	ea.	24" x 24", install 24" o.c.
sod	St. Augustine 'Floratum'	as req.	s.f.	solid sod
	Planting Soil	as req.	c.y.	
	70% Silica Sand	as req.	c.y.	
	30% Everglades Muck	as req.	c.y.	
	Shredded Metaleuca Mulch	as req.	c.y.	2" layer in all shrub beds

