

MIAMI-DADE COUNTY PROCESS NO.: E24-014

DATE: APR 11 2024

BY: ISA

DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES

APPLICATION FOR ENTRANCE FEATURE

DEVELOPMENT SERVICES DIVISION 111 N.W. 1ST STREET, 11TH FLOOR MIAMI, FL 33128 PH. (305) 375-2141

Entrance Feature No.:	14 Tentative No.:
	el a p
Sec Twp	Rge
Property Location: 8700 SW 112 Stree	et
Zoning: EU-1	District:
Owner: Chabad Center of Kendall,	Inc.
Owner's Email: _erportilla@gunster.co	om
Owner's Address: c/o Elinette Ruiz-Diaz de	la Portilla, 600 Brickell Ave, Ste 3500, Miami, FL 33131
Owner's Phone: 305-376-6000	
Contact person: Elinette Ruiz-Diaz de la P	ortilla
Contact's Email: erportilla@gunster.com	
Contact's Address: c/o Elinette Ruiz-Diaz de	e la Portilla, 600 Brickell Ave, Ste 3500, Miami, FL 33131
Contact's Phone: 305-376-6000	
	nust be submitted to the Department sources on the 11 Th floor with the the "Miami-Dade County".
	FOR OFFCIAL USE ONLY
* * * * * * * * * * * * * * * * * * * *	Check No:
Ng	Bank:
	Date received:



MIAMI-DADE COUNTY **ZONING APPLICATION FOR ADMINISTRATIVE**PROCESS NO.: E24-014 **APPROVAL OF ENTRANCE FEATURE**

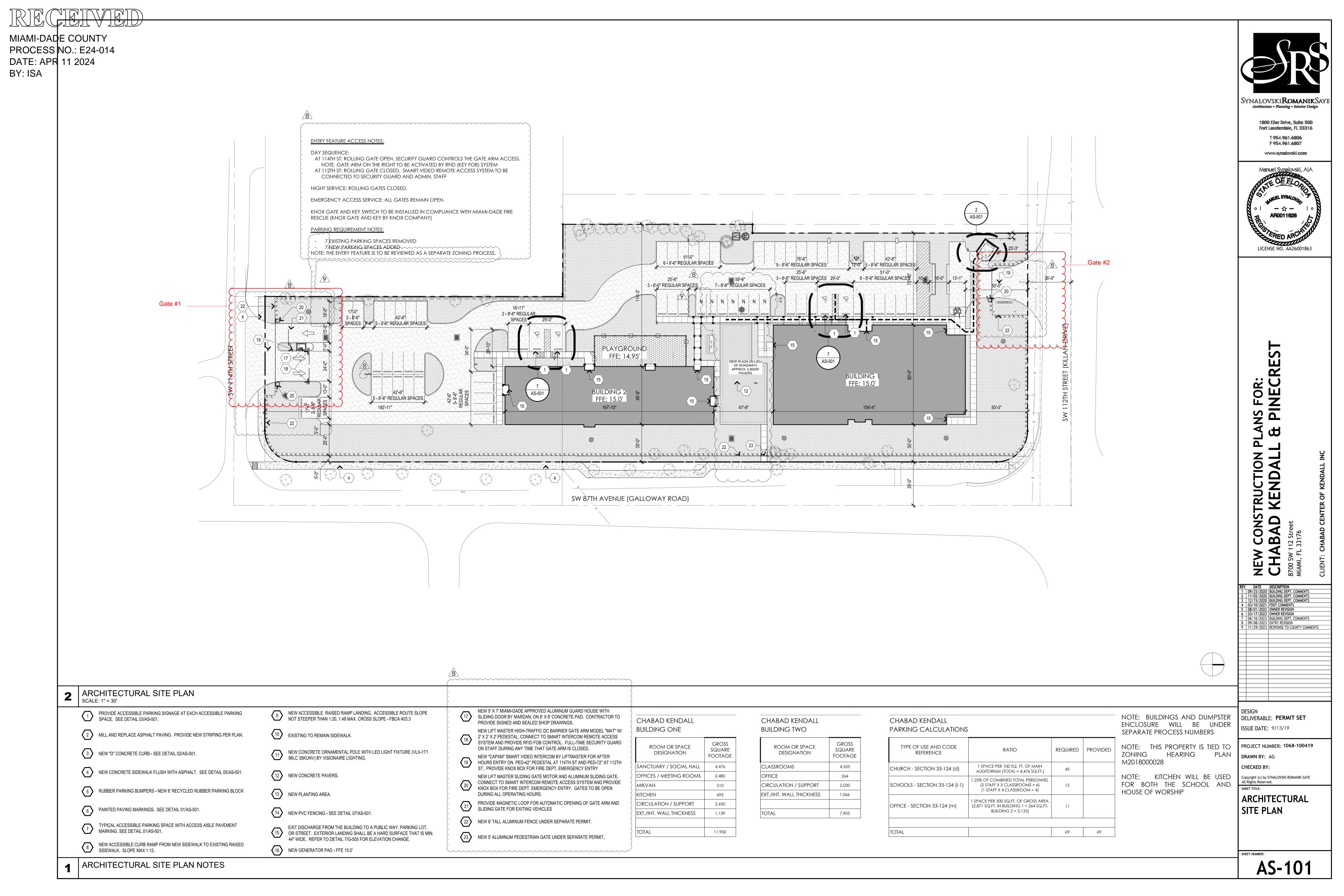
DATE: APR 11 2024

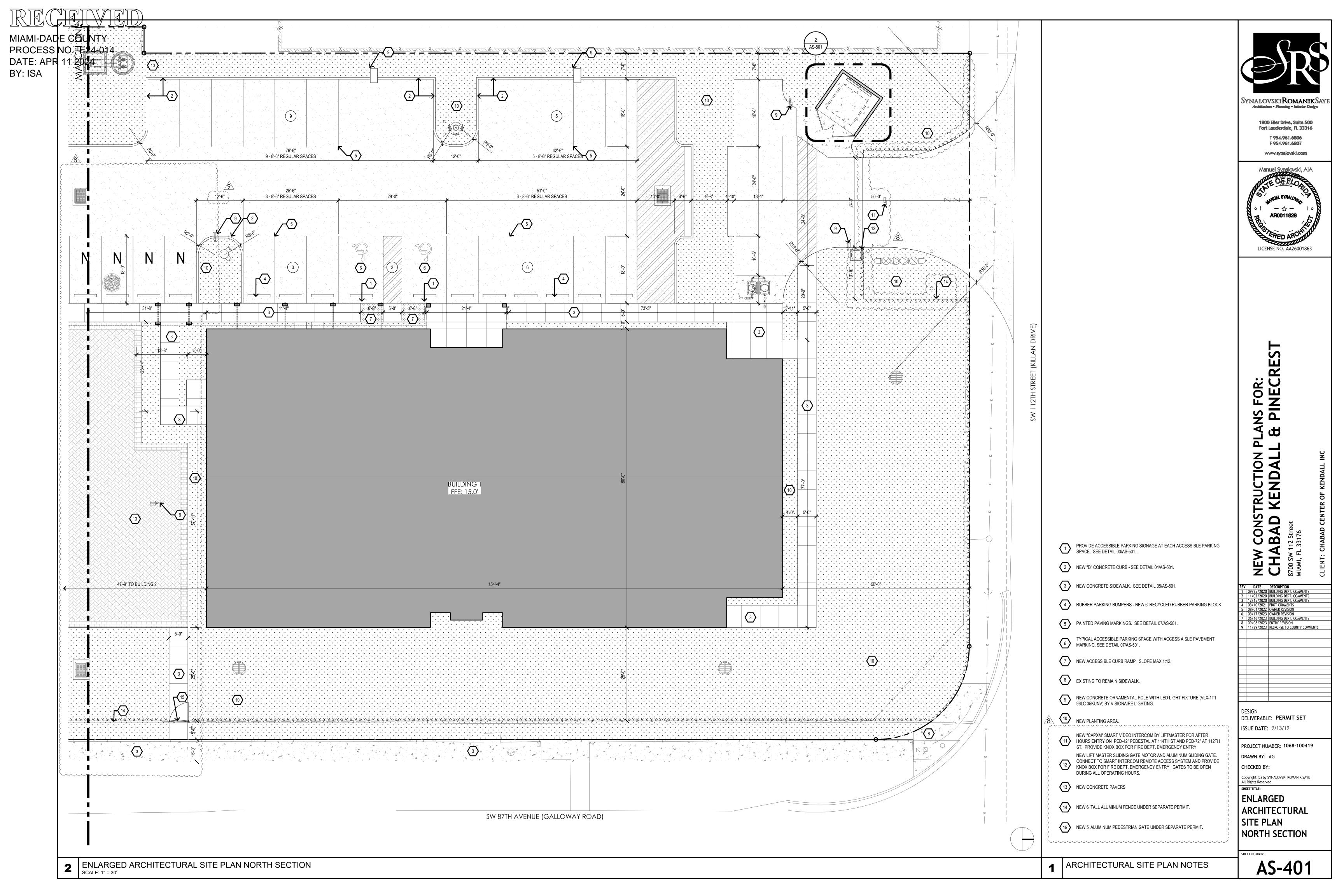
BY: ISA

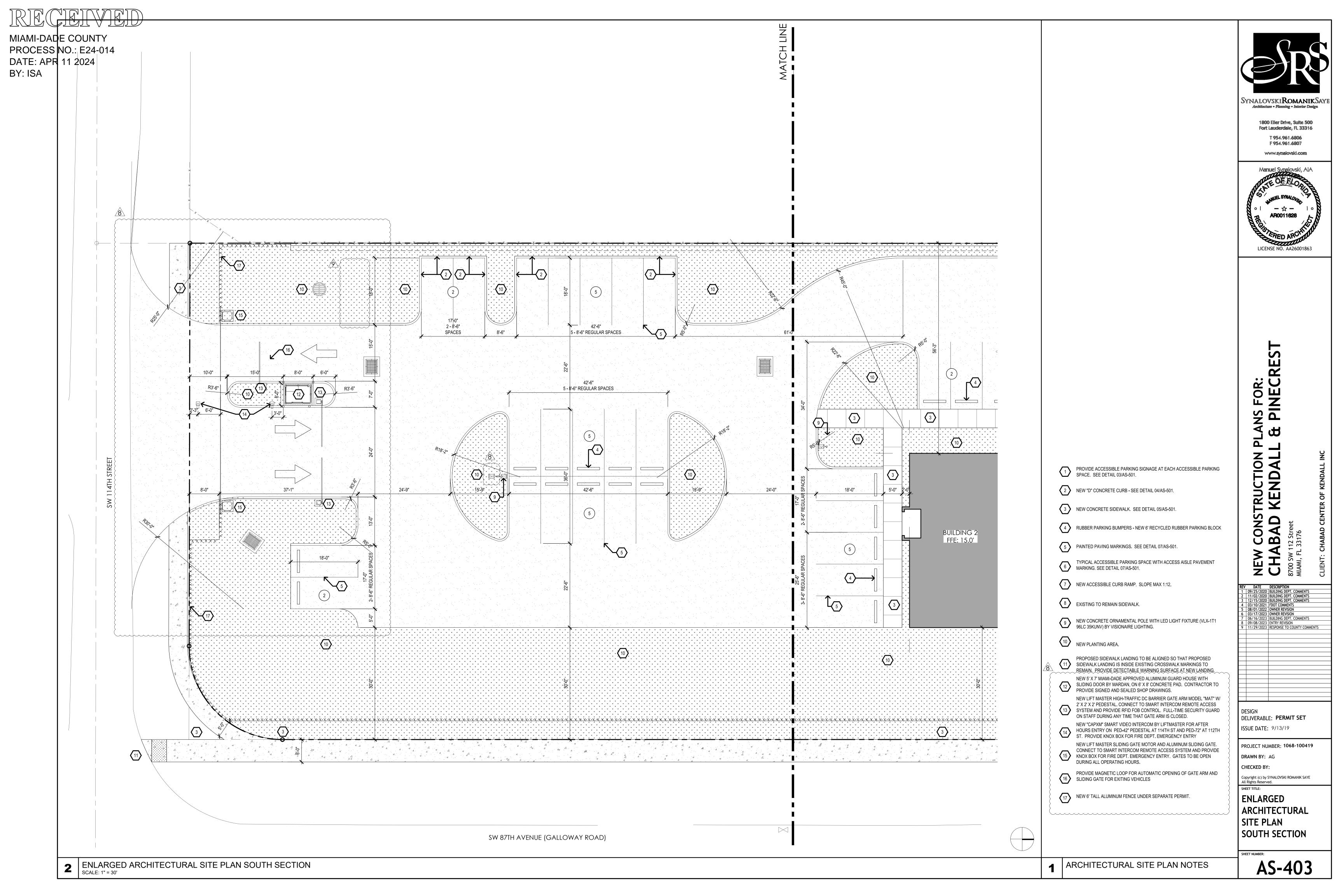
MIAMI-DADE COUNTY

E2024000014

Se	c ıwp κge							
Fe	e:							
FC	LIO# 30- <u>5009-000-1130 and 30-50</u> 09-003-0040 Date Received Stam							
acc FE EC	is application with all required supplemental data, information and fee must be completed in cordance with the attached "INSTRUCTIONS FOR FILING APPLICATION FOR ENTRANCE ATURE" and returned to the MIAMI-DADE COUNTY DEPARTMENT OF REGULATORY AND CONOMIC RESOURCES, the Zoning Hearings Section. THE OR PRINT LEGIBLY ALL INFORMATION ON APPLICATION:							
	Applicant Chabad Center of Kendall, Inc. Mailing Address Coord Elinette Ruiz-Diaz de la Portilla City Miami State FL Zip 33131 Email Address erportilla@gunster.com							
2)	Owner of Property Chabad Center of Kendall, Inc. Phone C/o Elinette Ruiz-Diaz de la Portilla Mailing Address 600 Brickell Ave, Ste 3500 City Miami State FL Zip 33131 Email Address erportilla@gunster.com							
3)	Contact Person Elinette Ruiz-Diaz de la Portilla Phone 305-376-6000 Mailing Address 600 Brickell Avenue, Ste 3500 City Miami State FL Zip 33131 Email Address erportilla@gunster.com							
,	LEGAL DESCRIPTION OF THE PROPERTY COVERED BY THE APPLICATION: Please see attached Exhibit "A."							
5) 6)	SIZE OF PROPERTY: 2.34 Acres x 101,800 SF Address or location of subject property 8700 SW 112 Street							
7)	Present Zoning Classification(s) <u>EU-1</u>							
8)	Is this Entrance Feature being requested as a result of a violation notice or summons? No							







MIAMI-DADE COUNTY PROCESS NO.: E24-014 DATE: APR 11 2024 BY: ISA



Fort Lauderdale, FL 33316 T 954.961.6806 F 954.961.6807

www.synalovski.com

1800 Eller Drive, Suite 500



CONSTRUCTION PLANS FOR:
BAD KENDALL & PINECRES

| REV DATE DESCRIPTION | 1 09/25/2020 | BUILDING DEPT. COMMENTS | 2 11/02/2020 | BUILDING DEPT. COMMENTS | 3 12/15/2020 | BUILDING DEPT. COMMENTS | 4 03/10/2021 | FDOT COMMENTS | 5 08/01/2022 | OWNER REVISION | 6 03/17/2023 | OWNER REVISION | 7 06/16/2023 | BUILDING DEPT. COMMENTS | 8 09/08/2023 | ENTRY REVISION | 9 11/29/2023 | RESPONSE TO COUNTY COMMENTS |

DELIVERABLE: PERMIT SET

ISSUE DATE: 9/13/19

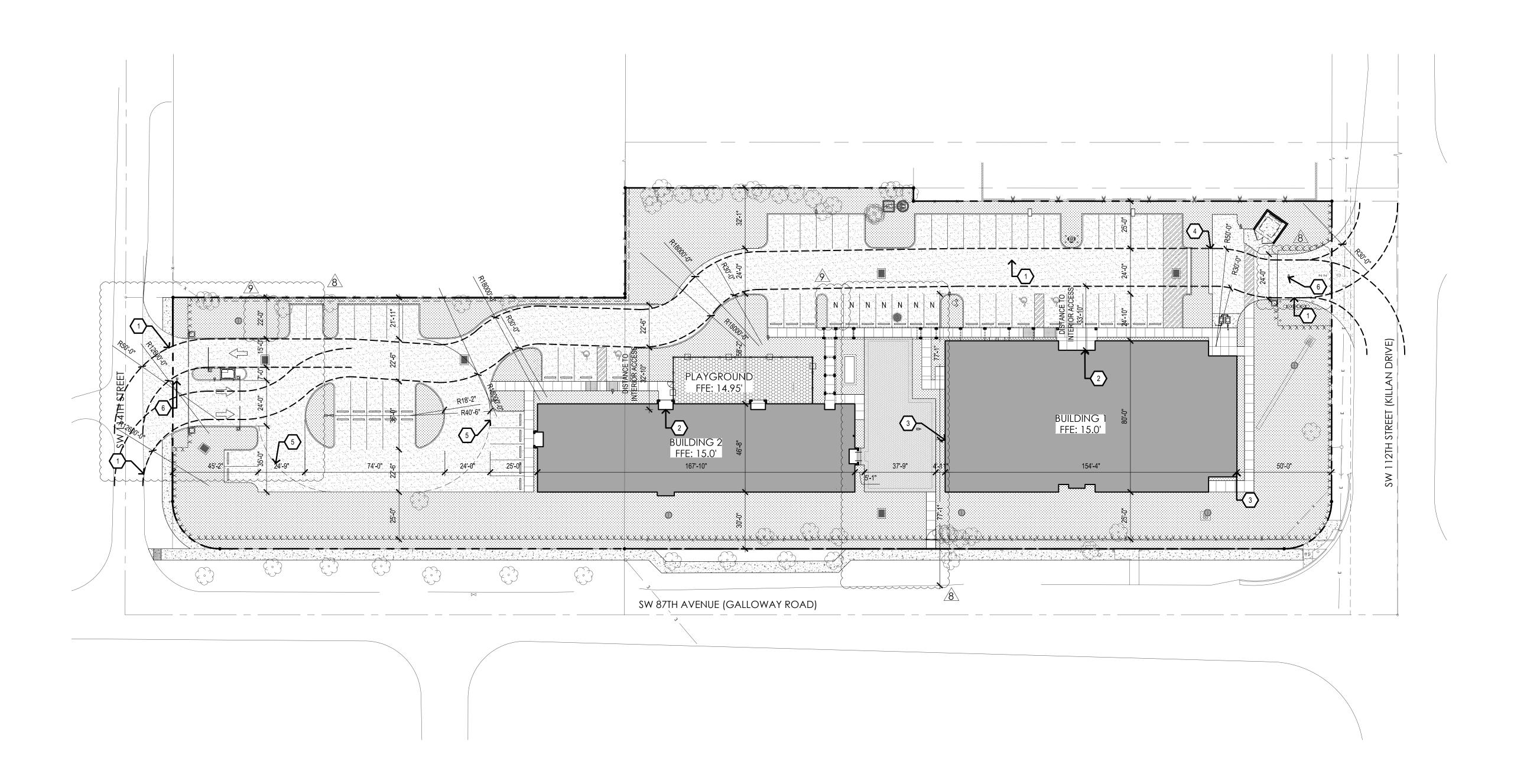
PROJECT NUMBER: 1068-100419

DRAWN BY: AG CHECKED BY:

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ARCHITECTURAL SITE PLAN -FIRE RESCUE ACCESS

AS-0111



ARCHITECTURAL SITE PLAN

- FIRE DEPARTMENT ACCESS ROAD. 20 FEET UNOBSTRUCTED WIDTH (TWO-WAY TRAFFIC), 15 FEET UNOBSTRUCTED CLEARANCE (ONE-WAY TRAFFIC) AND NOT 1 IRAFFIC), 15 FEET UNOBSTRUCTED CLEARANCE (ONE-WAY TRAFFIC) AND NOT LESS THAN 13 FEET 6 INCHES OF UNOBSTRUCTED VERTICAL CLEARANCE PER THE NOTE: BUILDINGS ARE ONE STORY FLORIDA FIRE PREVENTION CODE NFPA 1: 18.2.3.4.1.2
- EXTERIOR DOOR PROVIDING ACCESS TO THE INTERIOR OF ANY AND ALL BUILDINGS WITHIN 50' OF FIRE DEPARTMENT ACCESS ROAD PER THE FLORIDA FIRE PREVENTION CODE NFPA 1: 18.2.3.2.1
- FURTHEST PORTION OF THE FACILITY NOT TO EXCEED 450' FROM FIRE

 DEPARTMENT ACCESS ROAD PER THE FLORIDA FIRE PREVENTION CODE NFPA 1:

 HEARING PLAN M2018000028

 18.2.3.2.2 AND NFPA 1:18.2.3.2.2.1
- MOUNTABLE CURB FOR FIRE RESCUE ACCESS ONLY (REFER TO CIVIL DRAWINGS). MAINTAINED TO SUPPORT A MINIMUM OF 32 TONS. TURFED AREA TO BE CLEAR OF ALL LANDSCAPING.
- 7 REGULAR VEHICLE ACCESS ONLY. NOT A FIRE ACCESS ROAD.
- ELECTRICALLY OPERATED GATE, KNOX KEY SWITCH MODEL 3502, 3511, 3513 OR 3516 IS REQUIRED AND SHOULD BE LOCATED AS INDITACTED. WHEN FULLY OPEN, GATE SHALL PROVIDE FULL CLEARANCE OF DRIVEWAY AS DIMENSIONED ON THE PLAN.

STRUCTURES AND FULLY SPRINKLERED

NOTE: BUILDINGS AND DUMPSTER ENCLOSURE WILL BE UNDER SEPARATE PROCESS NUMBERS NOTE: THIS PROPERTY IS TIED TO ZONING

ROOM OR SPACE DESIGNATION	GROSS SQUARE FOOTAGE
SANCTUARY / SOCIAL HALL	4,476
OFFICES / MEETING ROOMS	2,480
MIKVAH	510
KITCHEN	695
CIRCULATION / SUPPORT	2,650
EXT./INT. WALL THICKNESS	1,139
TOTAL	11,950

CHABAD KENDALL

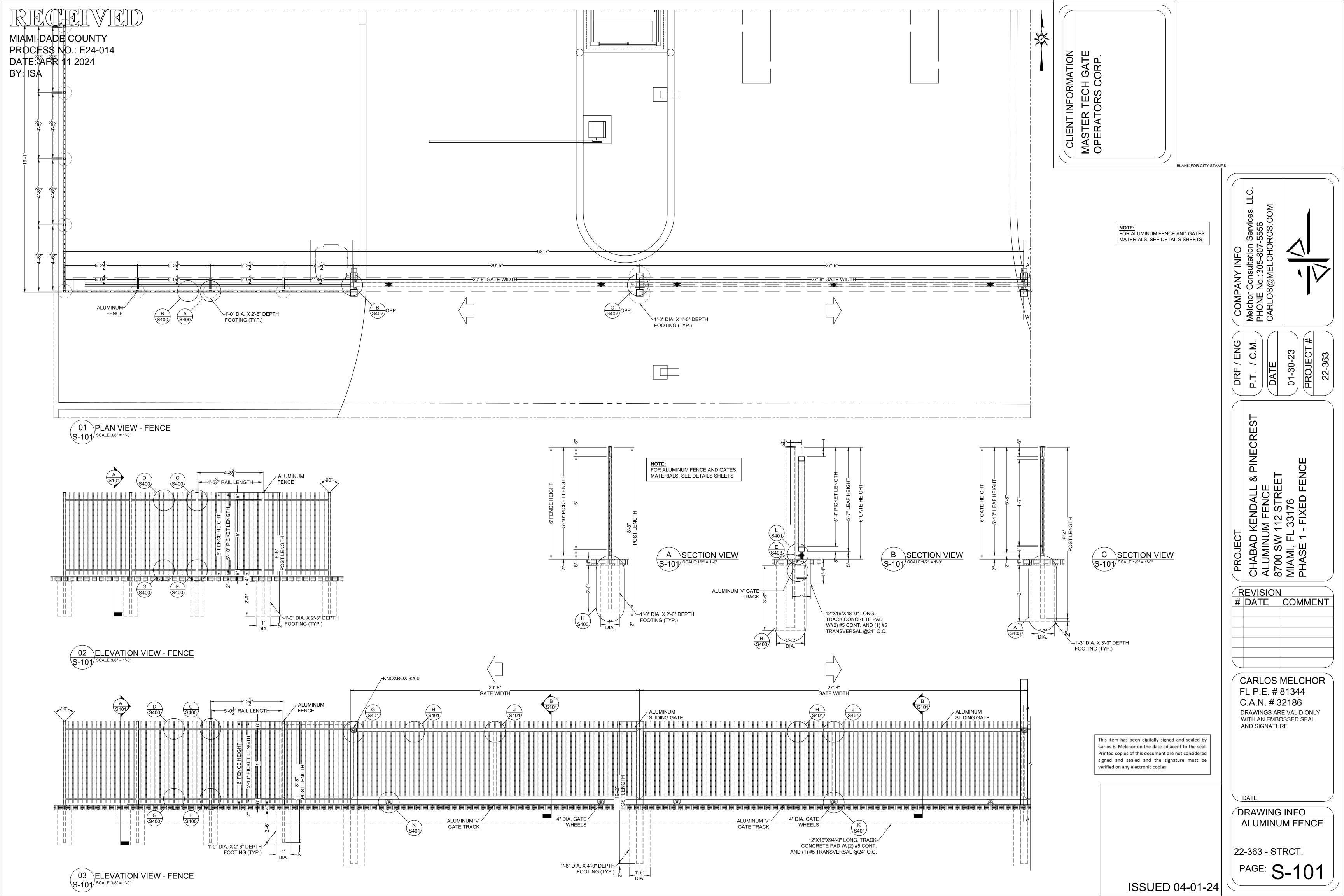
BUILDING ONE

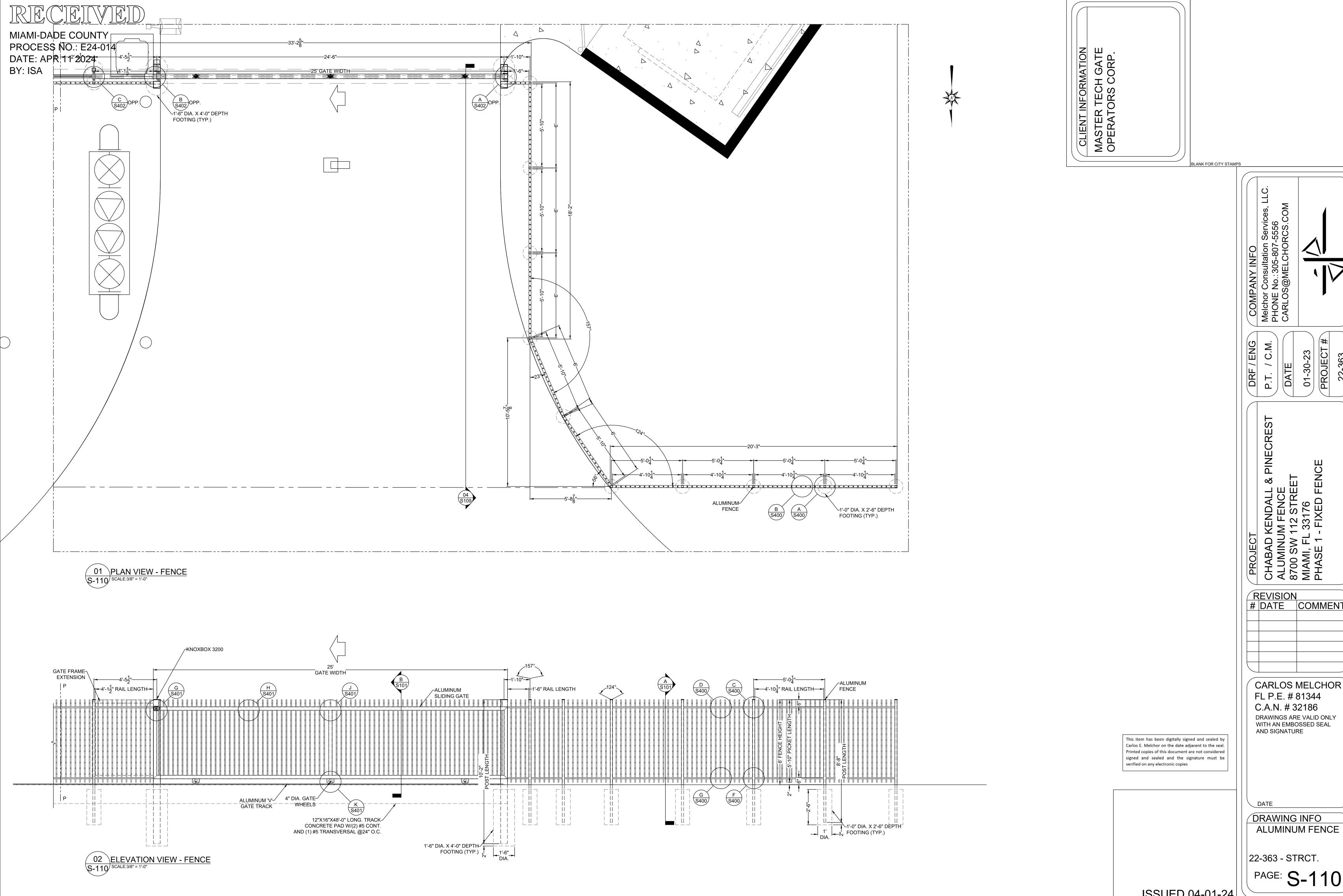
CHABAD KENDALL BUILDING TWO

ROOM OR SPACE DESIGNATION	GROSS SQUARE FOOTAGE
CLASSROOMS	4,555
OFFICE	264
CIRCULATION / SUPPORT	2,020
EXT./INT. WALL THICKNESS	1,066
TOTAL	7,905

CHABAD KENDALL PARKING CALCULATIONS

TYPE OF USE AND CODE REFERENCE	RATIO	REQUIRED	PROVIDED
CHURCH - SECTION 33-124 (d)	1 SPACE PER 100 SQ. FT. OF MAIN AUDITORIUM (TOTAL = 4,476 SQ.FT.)	45	
SCHOOLS - SECTION 33-124 (i-1)	1.25% OF COMBINED TOTAL PERSONNEL (2 STAFF X 3 CLASSROOMS = 6) (1 STAFF X 4 CLASSROOM = 4)	13	
OFFICE - SECTION 33-124 (m)	1 SPACE PER 300 SQ.FT. OF GROSS AREA (2,871 SQ.FT. IN BUILDING 1 + 264 SQ.FT. BUILDING 2 = 3,135)	11	
TOTAL		69	69





COMPANY INFO
Melchor Consultation Services, LL
PHONE No.:305-807-5556
CARLOS@MELCHORCS.COM 01-30-23 PROJECT

REVISION # DATE COMMENT

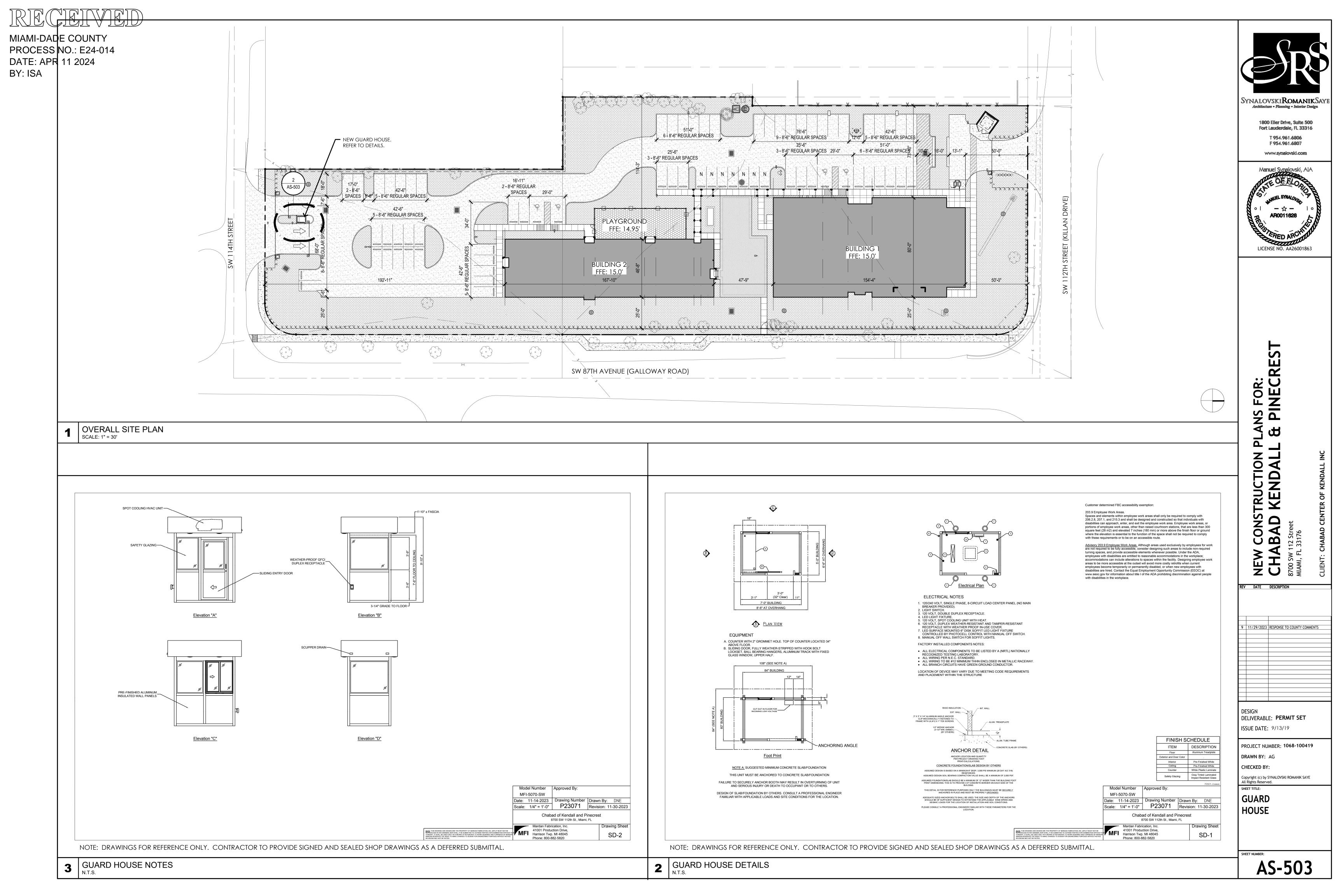
FL P.E. # 81344 C.A.N. # 32186

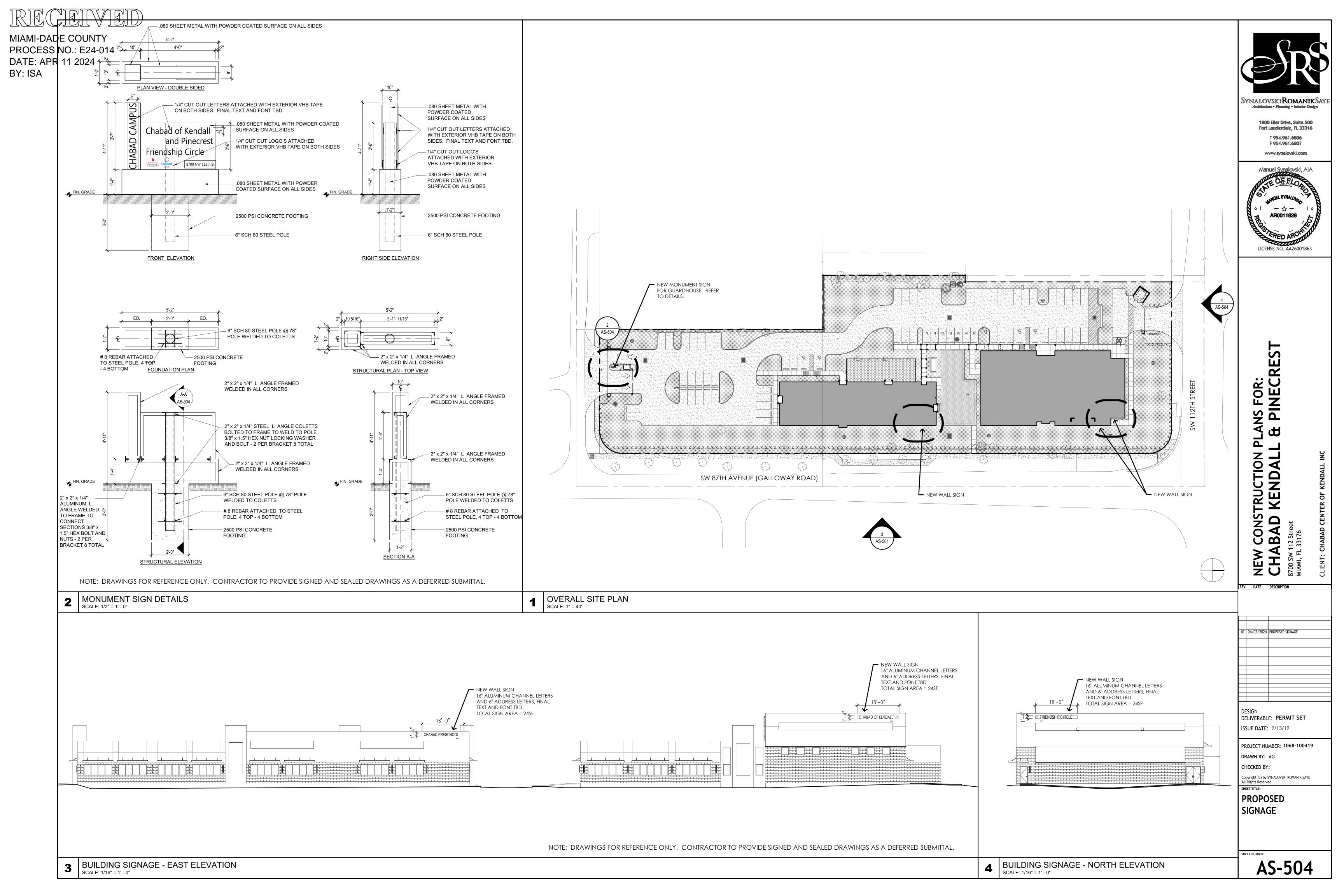
DRAWINGS ARE VALID ONLY WITH AN EMBOSSED SEAL AND SIGNATURE

DRAWING INFO ALUMINUM FENCE

22-363 - STRCT.

ISSUED 04-01-24





MIAMI-DADE COUNTY

PROCESS NO PRE24-034E CODES

DATE: APR: 11,2024 uction and materials shall conform to the standard and specifications of miami dade water and sewer and miami dade county and all other local, state and national codes where applicable except within department of transportation (d.o.t.) r/w wherin floridade department of transportation (f.d.o.t.) governs.

- 1.2. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS
- 1.3. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM 1929, (NGVD) UNLESS OTHERWISE NOTED.
- 1.4. MIAMI DADE WATER AND SEWER AND MIAMI DADE COUNTY SPECIFICATIONS SHALL DICTATE WHEN IN CONFLICT WITH ANY OF THE FOLLOWING SPECIFICATIONS.
- 1.5. ALL MATERIALS AND CONSTRUCTION WITHIN THE D.O.T. R/W SHALL CONFORM TO THE D.O.T. "DESIGN STANDARDS" (2015) AND "STANDARD SPECIFICATIONS" (2015).
- 1.6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE MAINTENANCE OF TRAFFIC (M.O.T) PLAN PRIOR TO CONSTRUCTION. THE CONSULTANT'S ENGINEER SHALL ENSURE THAT THE M.O.T PLAN FOR THE PROJECT CONFORMS WITH STANDARD INDEX SERIES 600, APPLICABLE INDEX FOR WORK BEING PERFORMED. THE CONTRACTOR SHALL ENSURE THE M.O.T. PLAN IS IMPLEMENTED EXACTLY AS APPROVED.
- 2. PRECONSTRUCTION RESPONSIBILITIES
- 2.5. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.
- 2.6. THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL OF FLORIDA, INC.

 CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY

 EXCAVATION, CALL 1-800-432-4770.
- 2.7. ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED).
- 2.8. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN. THE CONTRACTOR SHALL VERIFY, IF POSSIBLE, THE ELEVATIONS AND LOCATIONS OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION UPON EXCAVATION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE
- 2.9. THE CONTRACTOR MUST CALL MIAMI DADE COUNTY BUILDING DEPARTMENT AT LEAST 48 HOURS BEFORE ANY EXCAVATION WITHIN THE R/W TO DETERMINE THE LOCATION TO OF THE EXISTING TRAFFIC SIGNAL INTERCONNECT CABLE.
- 3. INSPECTIONS
- 3.1. THE CONTRACTOR SHALL NOTIFY MIAMI DADE WATER AND SEWER, MIAMI DADE COUNTY AND FDOT, AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS, WHERE APPLICABLE:
 - 3.1.1. CLEARING AND FILLING 3.1.2. STORM DRAINAGE SYSTEM
 - 3.1.3. SANITARY SEWER SYSTEM
 3.1.4. WATER DISTRIBUTION SYSTEM
 - 3.1.5. SUBGRADE 3.1.6. LIMEROCK BASE
- 3.1.7. ASPHALTIC CONCRETE 3.1.8. SIDEWALK 3.1.9. FINAL
- . SHOP DRAWINGS
- 4.1. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD, MIAMI DADE COUNTY, MIAMI DADE WATER AND SEWER FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAIN MANHOLES, CATCH BASINS, FIRE HYDRANTS, PIPING, VALVES AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- 5. TEMPORARY FACILITIES
- 5.1. TEMPORARY FACILITIES:
 - 5.1.1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
- 5.2. TRAFFIC REGULATION:
 - 5.2.1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS—OF—WAY SHALL BE IN ACCORDANCE WITH MANUAL TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
 - 5.2.2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
 - 5.2.3. NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION OF MIAMI DADE COUNTY AND THE FDOT.
 - 5.2.4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE.
- 6. STORM DRAINAGE
- 6.1. GENERAL:
- 6.1.1. DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.
- 6.2. MATERIALS:
 - 6.2.1. HIGH-DENSITY POLYETHYLENE (H.D.P.E.) SHALL MEET THE REQUIREMENTS OF ASTM F2619 / F2619M, LATEST REVISION.
 - 6.2.2. REINFORCED CONCRETE PIPE (R.C.P.) SHALL MEET THE REQUIREMENTS OF ASTM C-76, LATEST REVISION. RUBBER GASKETS OR OTHER MANUFACTURER SUPPLIED JOINT SEALER SHALL BE USED.
 - 6.2.3. CORRUGATED ALUMINUM PIPE (C.A.P.) SHALL BE HELICAL TYPE, CONFORMING TO ASTM B209 AND AASHTO M196, AS MANUFACTURED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL. THE CORRUGATION PATTERN AND GAUGE SHALL BE AS FOLLOWS:

 DIA. CORRUGATION GAUGE
 - DIA.
 CORRUGATION
 GAUGE

 12" to 21"
 2 2/3" x 1/2"
 16

 24" to 27"
 2 2/3" x 1/2"
 16

 30"
 2 2/3" x 1/2"
 14

 36" to 54"
 3" x 1"
 14

- 60" to 78" 3" x 1"
- 6.2.4. PIPE COUPLINGS FOR C.A.P. SHALL BE 12" WIDE (MINIMUM) 24" FOR 60" DIAMETER OR LARGER. SPLIT BANDS OF THE SAME ALLOY AS THE PIPE MAY BE ONE GAUGE LIGHTER THAN THE PIPE. POLYURETHANE OR OTHER MANUFACTURER SUPPLIED SEALANT SHALL BE USED WITH THE
- 6.2.5. FIELD JOINTS IN THE PIPE SHALL BE MADE WITH ALUMINUM SPIRAL RIB PIPE FORMED FROM COILED ALUMINUM SHEETS AND SHALL CONFORM TO ASTM B2-09 AND AASHTO M196, AS APPROVED BY KAISER ALUMINUM, INC., OR APPROVED EQUAL.
- 6.2.6. ALL DRAINAGE CATCH BASINS AND STRUCTURES SHALL BE PRECAST CONCRETE AS MANUFACTURED BY U.S. PRECAST CORPORATION, UNLESS OTHERWISE NOTED ON THE PLANS. BLOCK CATCH BASINS WILL BE ALLOWED ONLY WITH APPROVAL OF THE ENGINEER.
- 6.3. INSTALLATION:
 - 6.3.1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STABLE GRANULAR MATERIAL FREE OF ROCK FORMATION AND OTHER FOREIGN FORMATIONS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
 - 6.3.2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS. TAMPING TO BE DONE IN LAYERS NOT TO EXCEED 12 INCHES.
 - 6.3.3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.
 - 6.3.4. THE CONTRACTOR SHALL NOTIFY MIAMI DADE WATER AND SEWER AND FDOT ENGINEERING DIVISION AT LEAST 7 DAYS PRIOR TO THE START OF THE CONSTRUCTION AND INSPECTION.
- PAVING AND SIDEWALKS
- 7.1. GENERAL:
- 7.1.1. ALL MUCK AND YIELDING MATERIAL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL WHICH SHALL BE COMPACTED AND SHAPED TO CONFORM TO THE REQUIRED SECTION. COMPACTED AREAS, AS SHOWN ON THE PLANS AND OR AS DETERMINED BY THE ENGINEER, SHALL BE COMPACTED TO NOT LESS THAN 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE, AS DETERMINED BY AASHTO T-180, LATEST REVISION. AREAS TO BE STABILIZED, AS DETERMINED BY THE ENGINEER, SHALL HAVE A MINIMUM LBR-40.
- 7.1.2. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
- 7.1.3. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- 7.1.4. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- 7.2. MATERIALS:
- 7.2.1. BASE COURSE SHALL BE CRUSHED LIMEROCK WITH A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
- 7.2.2. ASPHALT SURFACES SHALL BE TYPE S—III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, TWO (2) SHALL BE A MINIMUM OF 1—1/2" THICK, A AND SHALL BE APPLIED IN (2) 3/4" LIFTS.
- 7.2.3. MINIMUM SIDEWALK CONSTRUCTION SHALL BE 4 INCH THICK CONCRETE, MINIMUM 3000psi COMPRESSIVE STRENGTH AT 28 DAYS. SAWCUT CONSTRUCTION JOINTS 5 FOOT O.C. WITHIN 48 HOURS OF PLACING, EXPANSION JOINTS SHALL BE 20 FOOT O.C.
- 7.2.4. CURBS AND GUTTERS: CONCRETE 3000psi COMPRESSIVE STRENGTH AT 28 DAYS, SAWCUT CONSTRUCTION JOINTS 10 FOOT O.C. WITHIN 48 HOURS OF PLACING.
- 7.2.5. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A $6"\times 6"$ NO. 10 GAUGE WIRE MESH.
- 7.3. INSTALLATION:
 - 7.3.1. SUBGRADE FOR PAVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (AASHTO T-99(c)), AND SHALL HAVE A MINIMUM LBR 40.
 - 7.3.2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE AS SHOWN ON PLANS FOR VARIOUS LOCATIONS.
 - 7.3.4. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY

7.3.3. BASE COURSE MATERIAL FOR CURBS AND GUTTERS SHALL BE A MINIMUM

- AS PER AASHTO T-180 AND SHALL HAVE A MINIMUM LBR OF 100.

 7.3.5. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-3
- REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATION ASPHALTIC CONCRETE.

THICKNESS OF 6 INCH.

- 7.4. TESTING:
- 7.4.1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 7.4.2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- 7.4.3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
- 7.4.4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND APPROVED BEFORE ANY LIMEROCK BASE
- 7.4.5. DENSITY TESTS AND AS—BUILTS ON THE FINISHED LIMEROCK BASE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.
- 8. PROJECT CLOSEOUT
- 8.1. CLEANING UP:
 - 8.1.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEAN—UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEPT BROOM CLEAN.
 - 8.1.2. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS WORK, EQUIPMENT, OR EMPLOYEES, TO A CONDITION AT

- LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING
 OF OPERATIONS. TO THAT END, THE CONTRACTOR
 SHALL DO, AS REQUIRED, ALL NECESSARY HIGHWAY, DRIVEWAY, WALK
 AND LANDSCAPING WORK. SUITABLE MATERIALS AND
 METHODS SHALL BE USED FOR SUCH RESTORATION.
- 8.1.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK, AND THE AREA KEPT IN A CLEAN AND NEAT CONDITION.
- 8.2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S
- 8.3. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.
- 9. ENGINEER'S AS-BUILT REQUIREMENTS

FOLLOWING INFORMATION:

- 9.1. AS-BUILTS OF WATER LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
 - 9.1.1. TOP OF PIPE ELEVATIONS EVERY 100 LF.
 9.1.2. LOCATIONS AND ELEVATIONS OF ALL FITTINGS INCLUDING BENDS, TEES,
 - GATE VALVES, DOUBLE DETECTOR CHECK VALVES, FIRE HYDRANTS, ETC.

 9.1.3. ALL TIE INS TO EXISTING LINES SHALL BE AS—BUILT.
 - 9.1.4. THE ENDS OF ALL WATER SERVICES AT THE BUILDINGS OR HOMES SHALL BE AS-BUILT OR WHERE THE WATER SERVICE TERMINATES.
- 9.2. AS-BUILTS OF ALL GRAVITY SANITARY SEWER LINES SHALL INCLUDE THE
 - 9.2.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AS WELL
 - 9.2.2. THE STUB ENDS OF ALL SEWER LATERALS SHALL BE LOCATED AND IF THERE ARE ANY CLEANOUTS INSTALLED ON THE SEWER LATERALS THEN THE INVERT ELEVATION OF THESE CLEANOUTS SHALL BE OBTAINED.
 - 9.2.3. LIFT STATION AS—BUILTS SHALL CONSIST OF TOP OF WET WELL ELEVATION, INVERT ELEVATION OF THE INCOMING LINE, BOTTOM OF THE WET WELL AND AS—BUILTS OF THE COMPOUND AREA.
- 9.3. AS-BUILTS OF ALL DRAINAGE LINES SHALL INCLUDE THE FOLLOWING INFORMATION:
 - 9.3.1. RIMS, INVERTS AND LENGTH OF PIPING BETWEEN STRUCTURES AND WEIR ELEVATIONS IF APPLICABLE.
 - 9.3.2. THE SIZE OF THE PIPING SHALL BE VERIFIED BY THE SURVEY CREW AT THE TIME OF AS—BUILT.
 - 9.3.3. DRAINAGE WELL STRUCTURE AS—BUILTS SHALL INCLUDE, BUT NOT BE LIMITED TO, TOP OF CASING ELEVATION, TOP AND BOTTOM ELEVATIONS OF THE BAFFLE WALLS, RIM ELEVATIONS AND INVERTS OF PIPING.
- 9.4. ALL ROCK AS—BUILTS FOR PARKING LOT AREAS SHALL CONSIST OF THE FOLLOWING:
 - 9.4.1. ROCK ELEVATIONS AT ALL HIGH AND LOW POINTS, AND AT ENOUGH INTERMEDIATE POINTS TO CONFIRM SLOPE CONSISTENCY.
 - 9.4.2. ROCK AS—BUILTS SHALL BE TAKEN AT ALL LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS.
 - 9.4.3. ALL CATCH BASIN AND MANHOLE RIM ELEVATIONS SHALL BE SHOWN.

9.4.4. ELEVATIONS AROUND ISLAND AREAS WILL ALSO BE REQUIRED.

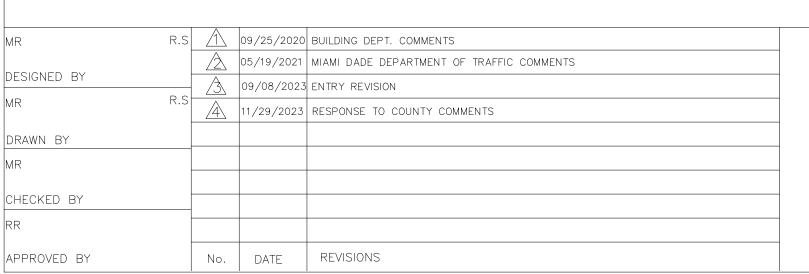
- 9.4.5. WHERE CONCRETE IS TO BE USED AS A FINISHED PRODUCT FOR THE ROADWAY OR PARKING LOT ROCK AS—BUILTS WILL BE REQUIRED AS INDICTED ABOVE AS WELL AS AS—BUILTS ON THE FINISHED CONCRETE AT LOCATIONS WHERE THERE IS A FINISH GRADE ELEVATION SHOWN ON THE DESIGN PLANS. F AS—BUILTS SHALL BE TAKEN ON ALL PAVED AND UNPAVED SWALES, PRIOR TO PLACEMENT OF ASPHALT OR TOPSOIL/SOD, AT ECONOMISM SHOPE TO THE PLAN DETAILS.
- 9.5. RETENTION AREA AS—BUILT ELEVATIONS SHALL BE TAKEN AT THE BOTTOM OF THE RETENTION AREA AND AT THE TOP OF BANK. IF THERE ARE CONTOURS INDICATED ON THE DESIGN PLANS, THEN THEY SHALL BE AS—BUILTED AS WELL.
- 9.6. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PREPARE RECORD DRAWINGS, "AS—BUILTS", ON FULL SIZE, 24" X 36" REPRODUCIBLE MATERIAL. WHERE WATER AND SEWER INFORMATION ARE ON THE SAME PAGE THE WATER LINE SHALL BE AS—BUILT BY STATION AND OFFSET UTILIZING THE SANITARY SEWER SYSTEM AS THE BASE LINE. IF IT IS NOT PRACTICAL TO UTILIZE THE SEWER SYSTEM AS A BASE LINE THEN THE SURVEYOR SHALL CONTACT THE ENGINEER OF RECORD SO THAT A SUBSTITUTE BASELINE MAY BE CHOSEN. ALL RECORD DRAWING, "AS—BUILT", INFORMATION SHALL BE PUT ON THE LATEST ENGINEERING DRAWINGS. ONE (1) SET OF REPRODUCIBLE RECORD DRAWINGS, "AS—BUILTS", SHALL BE SUBMITTED ALONG WITH EIGHT (8) SETS OF BLUE OR BLACKLINE DRAWINGS. THESE DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL LAND SURVEYOR. ADDITIONALLY, AN ELECTRONIC COPY OF THESE RECORD DRAWINGS, "AS—BUILTS", SHALL BE SUBMITTED TO THE ENGINEER OF RECORD IN AUTOCAD, VERSION 2014.

AGREEMENT ID # 30333

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

THIS SHEET IS NOT PART OF MDWASD NOTES NOR APPROVAL



CHABAD OF KENDALL AND PINECREST

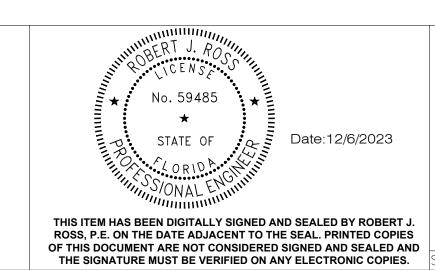
8700 SW 112 STREET MIAMI FL 33176



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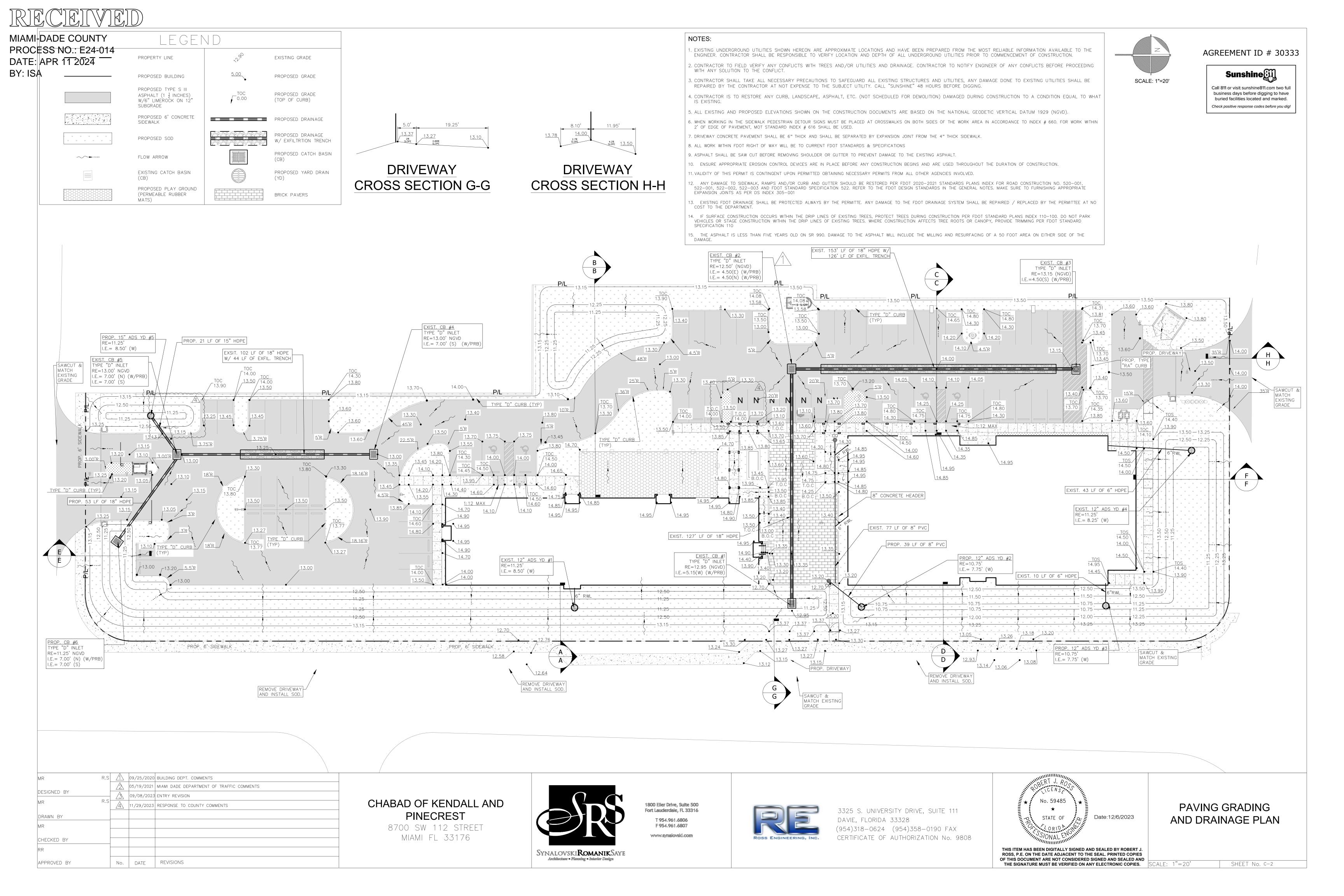


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DAVIE, FLORIDA 33328
(954)318-0624 (954)358-0190 FAX
CERTIFICATE OF AUTHORIZATION No. 9808

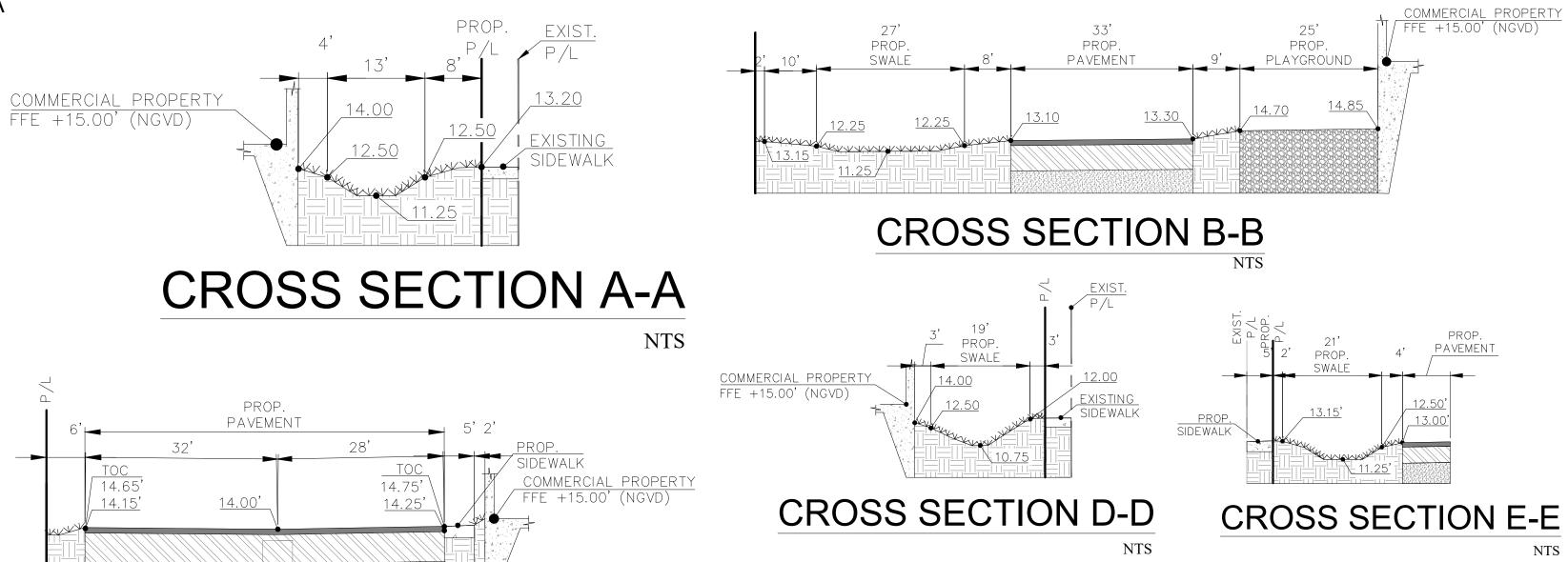


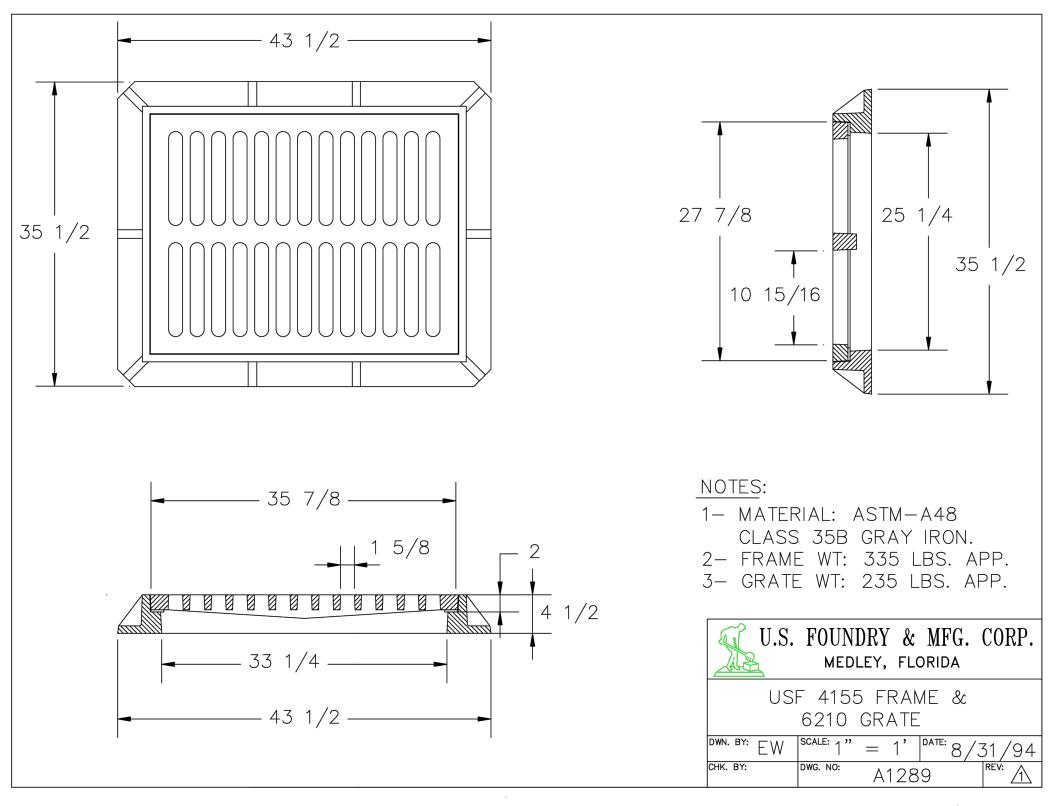
GENERAL NOTES AND SPECIFICATIONS

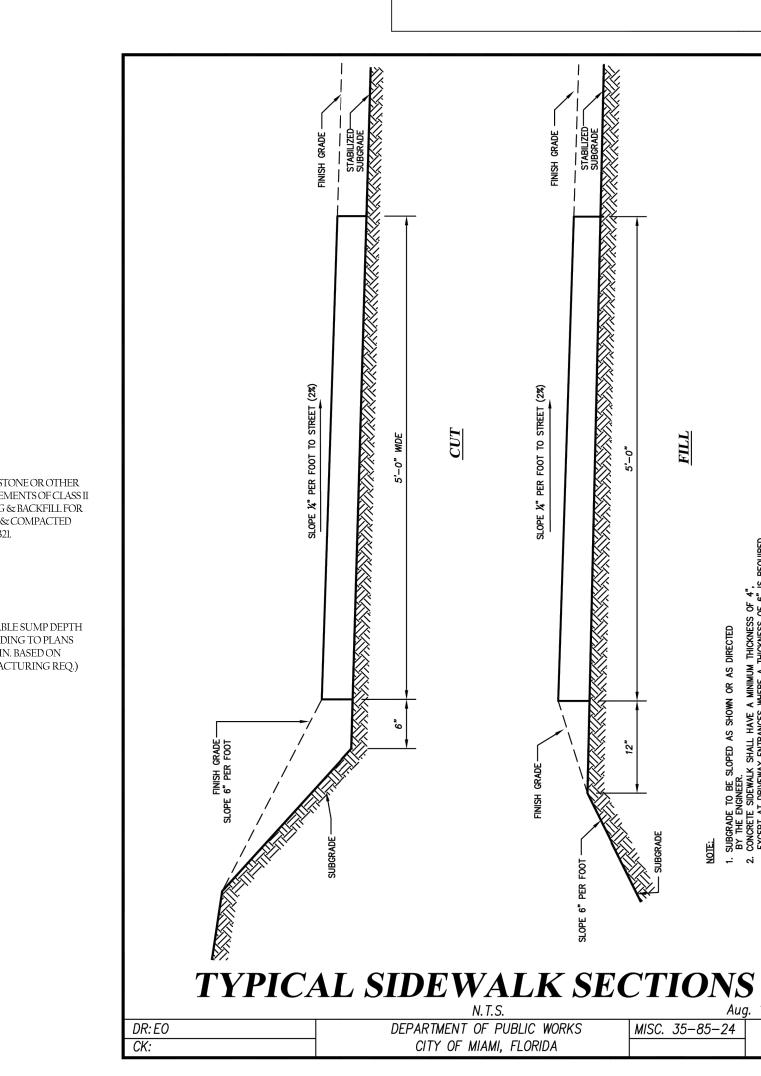
SHEET No. C-1

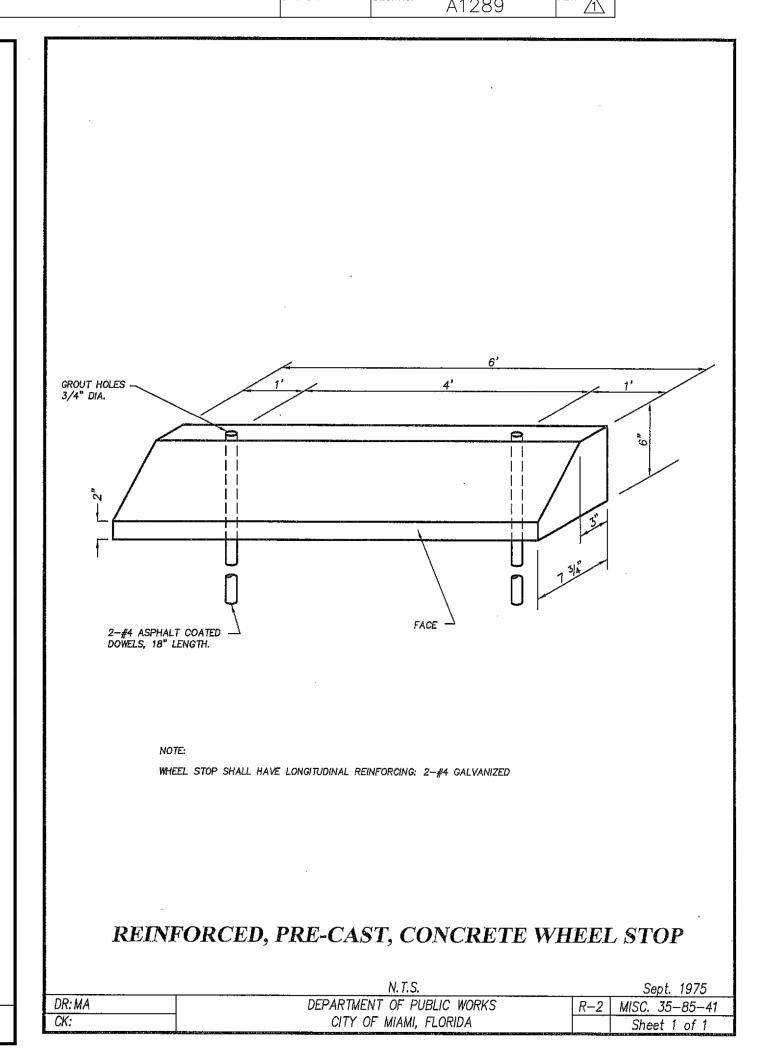


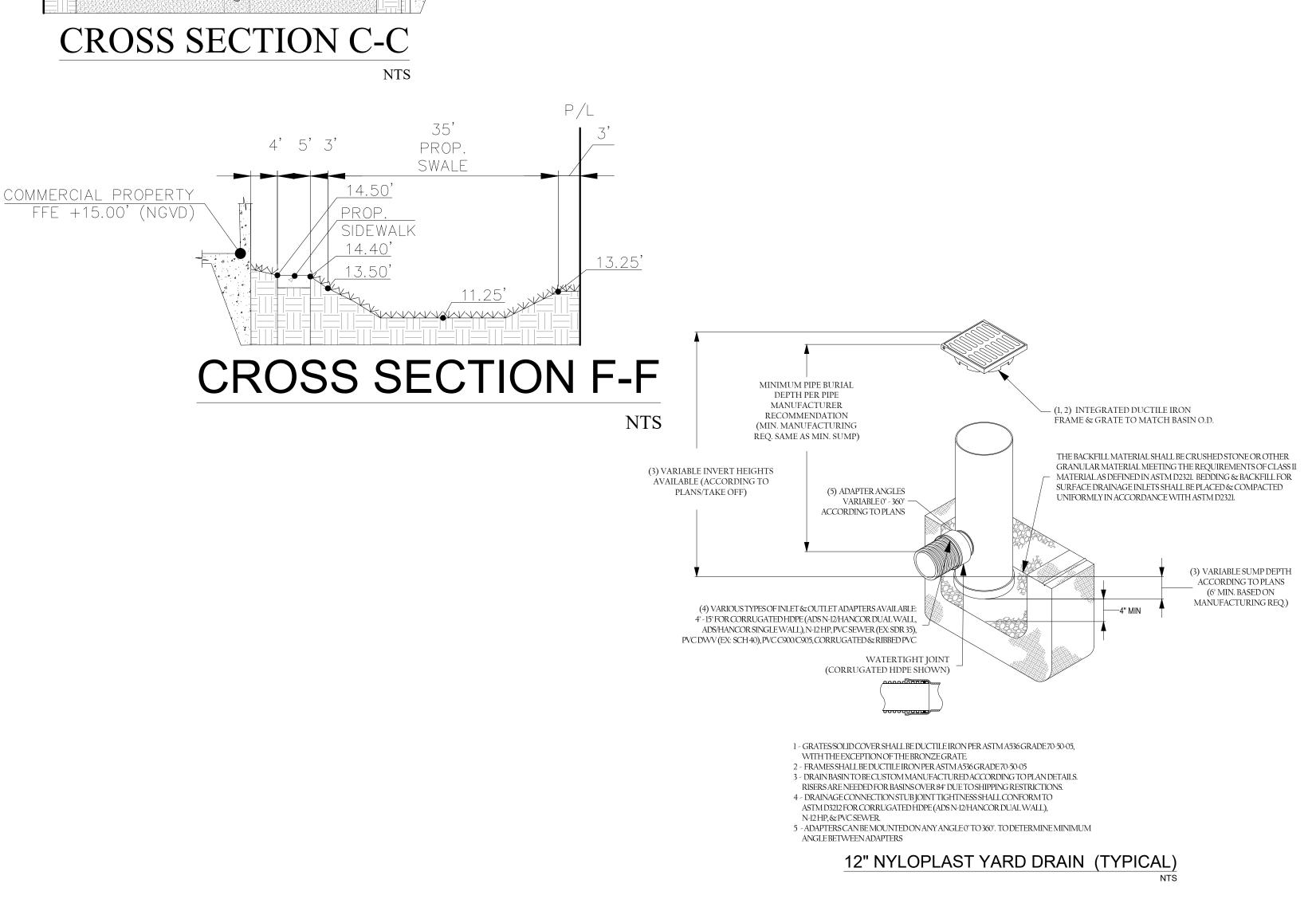
MIAMI-DADE COUNTY PROCESS NO.: E24-014 DATE: APR 11 2024 BY: ISA

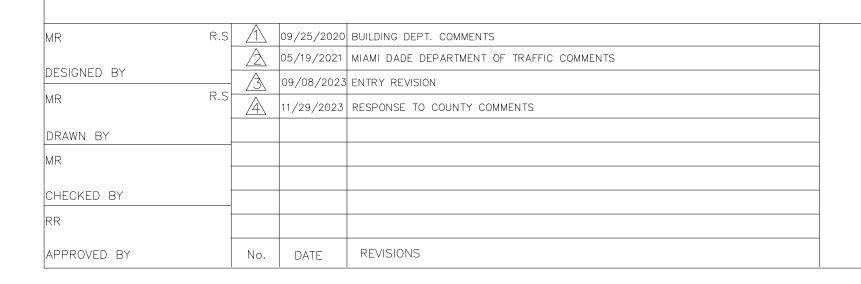












CHABAD OF KENDALL AND **PINECREST**

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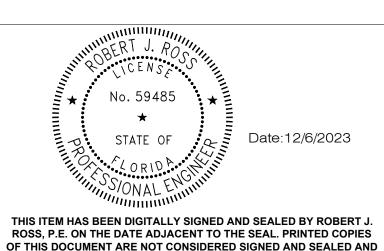


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MISC. 35-85-24



THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PAVING GRADING AND DRAINAGE DETAILS

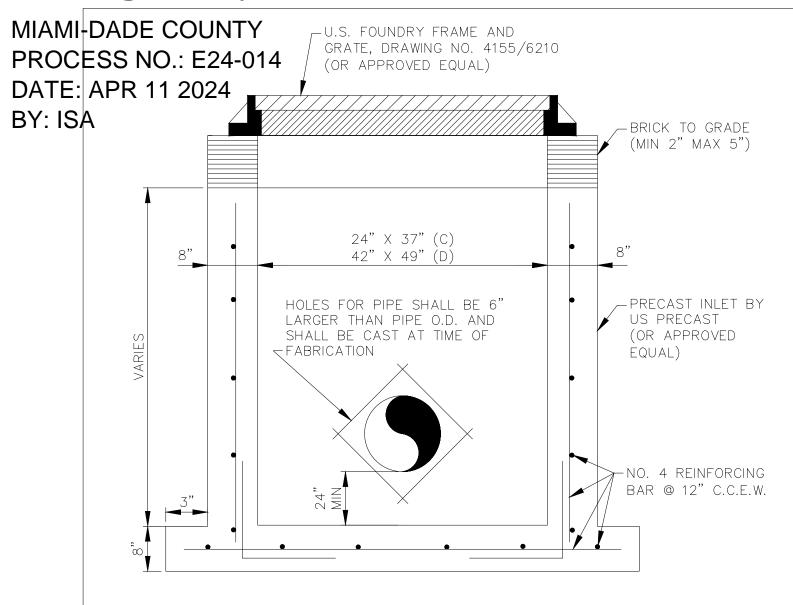
SHEET No. C - 2.1

AGREEMENT ID # 30333

Sunshine

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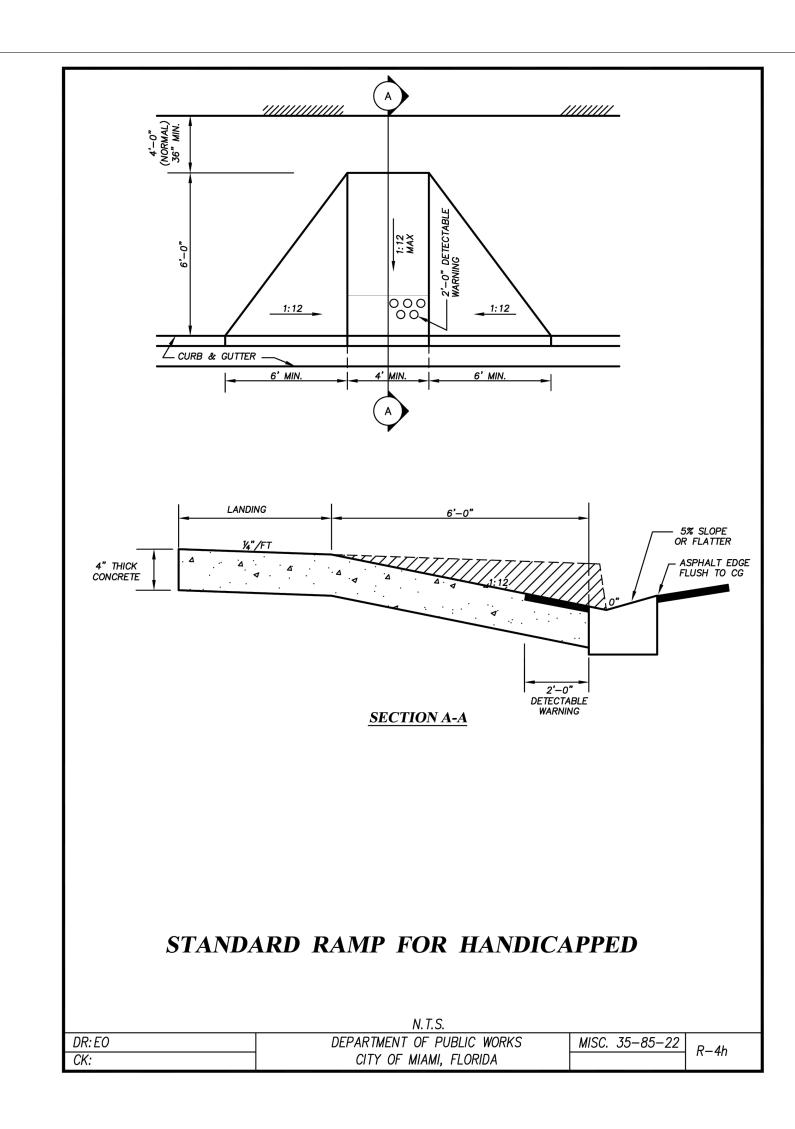
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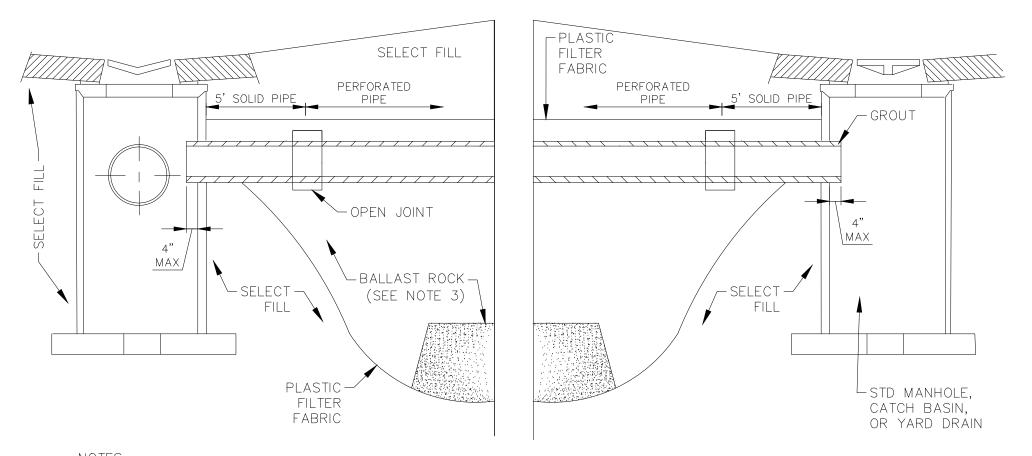


\ PAVEMENT 3,000 PSI CONCRETE

6" CURB (TYPE "D")

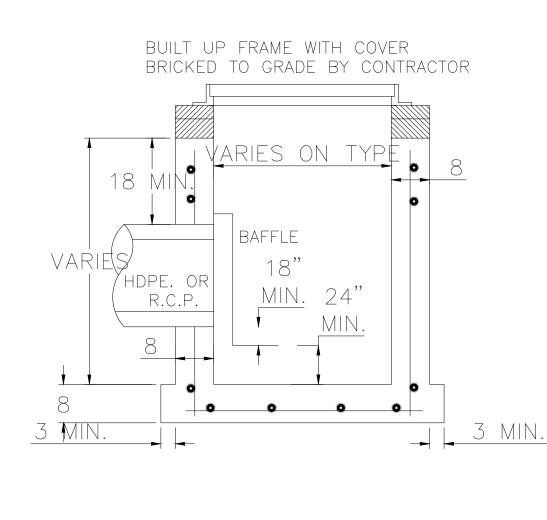
CATCH BASIN (TYPICAL)





1. PLASTIC FILTER FABRIC (AT EACH SIDE, TOP, AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED ON PLANS AND/OR DIRECTED BY THE ENGINEER

- 2. IN MIAMI-DADE COUNTY, THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE 15'-0" BELOW EXISTING GROUND ELEVATION, UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
- 3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
- 4. INVERT ELEVATIONS TO BE AS SHOWN IN W.C. 2.2 (AVERAGE OCTOBER GROUND WATER LEVEL). 4.1. IF THIS DETAIL IS TO BE USED FOR PRETREATMENT OF STORMWATER RUN-OFF, THE INVERT OF PIPE TO BE AS SHOWN
- 4.2. IF PRETREATMENT HAS BEEN PROVIDED THROUGH OTHER MEANS THE INVERT OF PIPE CAN BE LOWER THAN SHOWN IN
- 5. REFER TO PLAN FOR TRENCH WIDTH. **EXFILTRATION TRENCH** LONGITUDINAL SECTION



CATCH BASIN (USP 3-3.0)

1) MINIMAL CONC. STRENGTH FOR ALL CATCH BASINS AND MANHOLE STRUCTURES SHALL BE 4000 PSI.

2) CONTRACTOR IS RESPONSIBLE FOR FINAL ELEVATION AND LOCATION ADJUSTMENTS OF CATCH BASINS, GRATES, MANHOLES DUE TO FIELD CONSTRAINTS.

3) THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELLOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.

Sunshine

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AGREEMENT ID # 30333

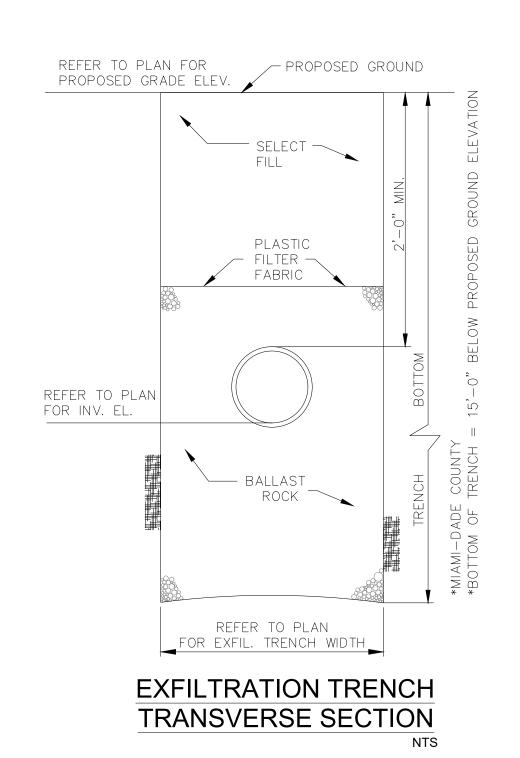
BRACKET DETAIL

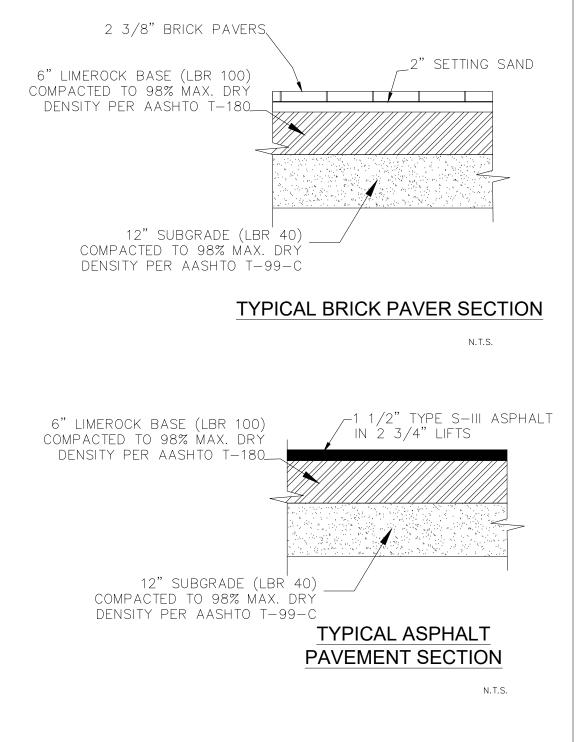
NOTE 2

1) BAFFLE SHALL BE C.M.P. OR C.A.P. SECTION (OUTFALL DIAMETER PLUS 6").

- 2) 1/2" GALV. WEDGE ANCHORS (ULT. PULLOU 6000, ULT. SHEAR 5900.)
- 3) WELD OR 2-3/8" THRU BOLTS
- 4) BOLTED TO WALL WITH TOP CAPPED. (WATER TIGHT)

ALUMINUM BAFFLE DETAIL





R.S 1 09/25/2020 BUILDING DEPT. COMMENTS /2 | 05/19/2021 | MIAMI DADE DEPARTMENT OF TRAFFIC COMMENTS DESIGNED BY (3) 09/08/2023 ENTRY REVISION $\frac{1}{4}$ | 11/29/2023 | RESPONSE TO COUNTY COMMENTS DRAWN BY CHECKED BY No. | DATE | REVISIONS

APPROVED BY

CHABAD OF KENDALL AND **PINECREST**

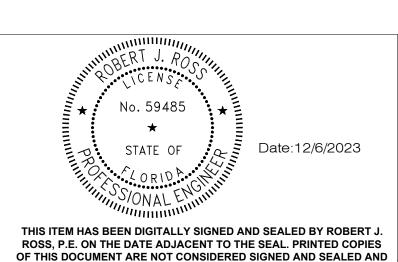
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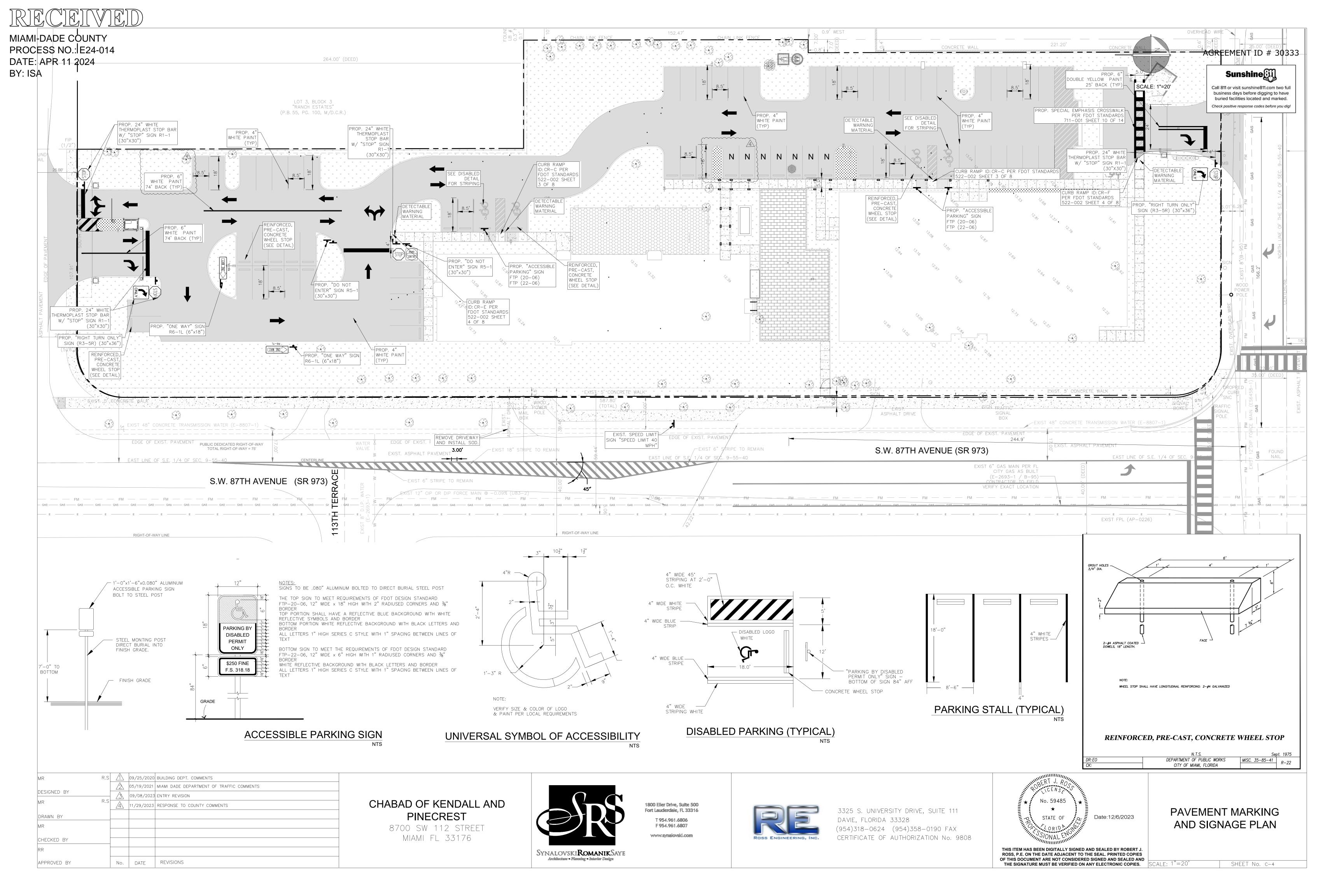
3325 S. UNIVERSITY DRIVE, SUITE 111 DAVIE, FLORIDA 33328 (954)318-0624 (954)358-0190 FAX CERTIFICATE OF AUTHORIZATION No. 9808

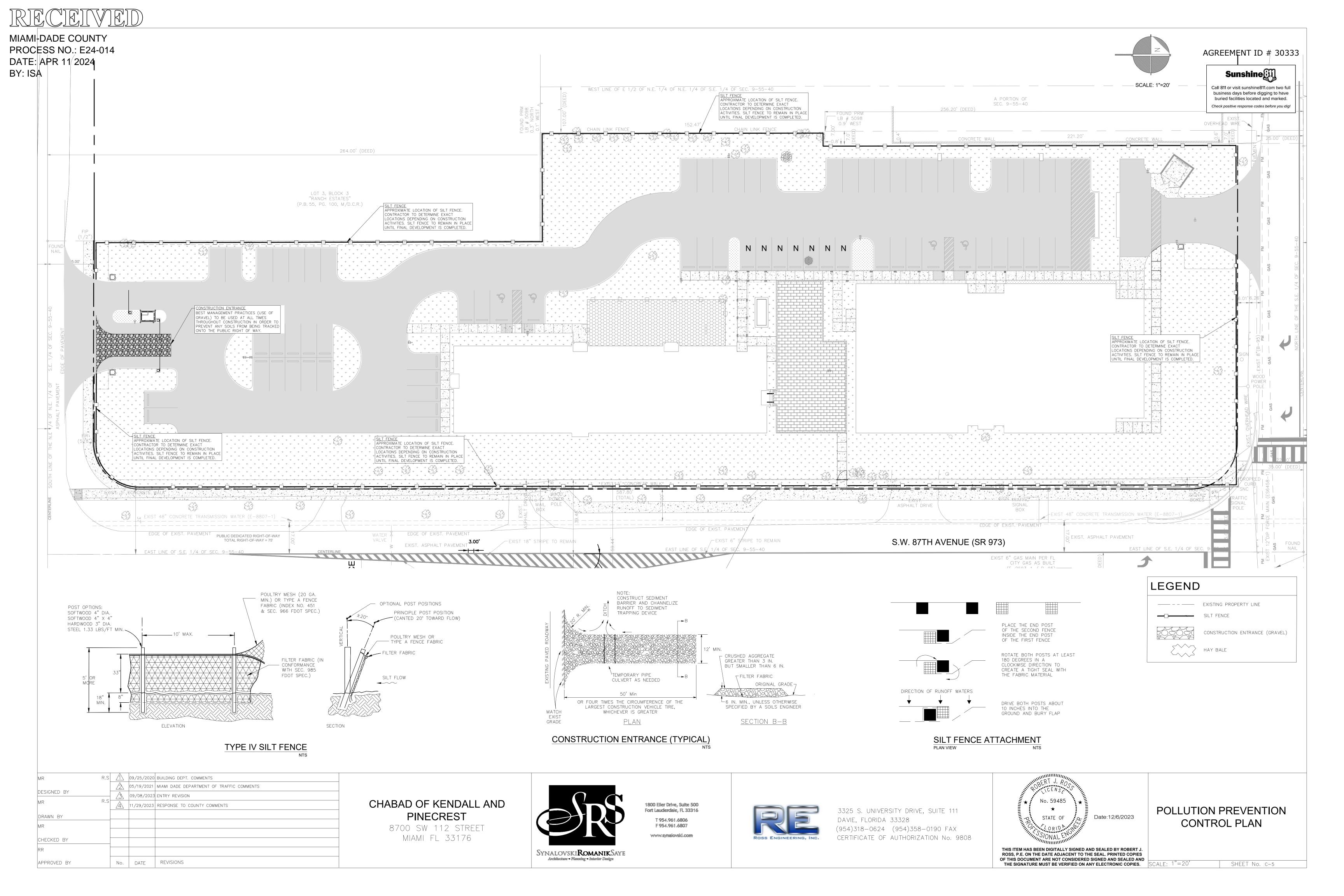


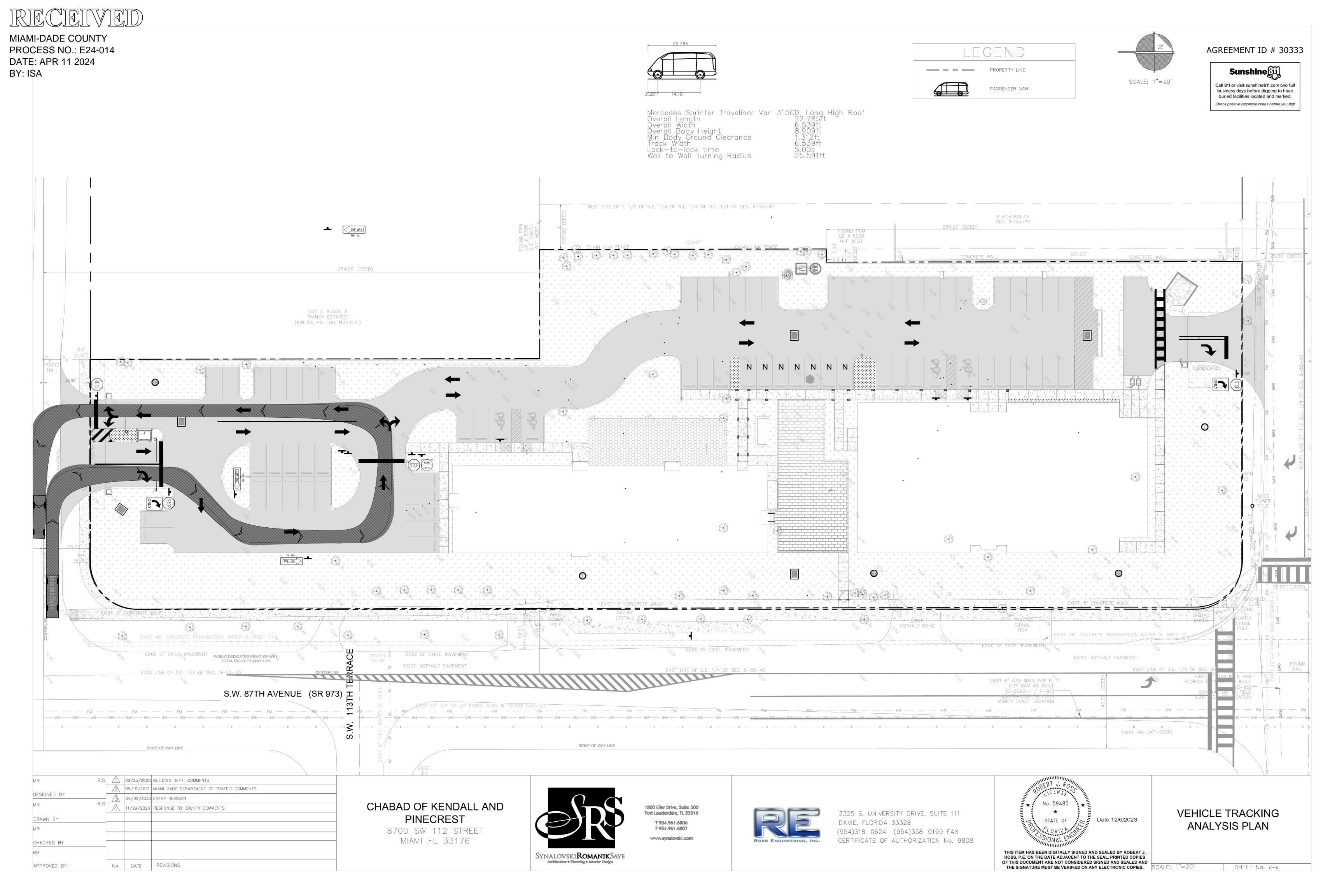
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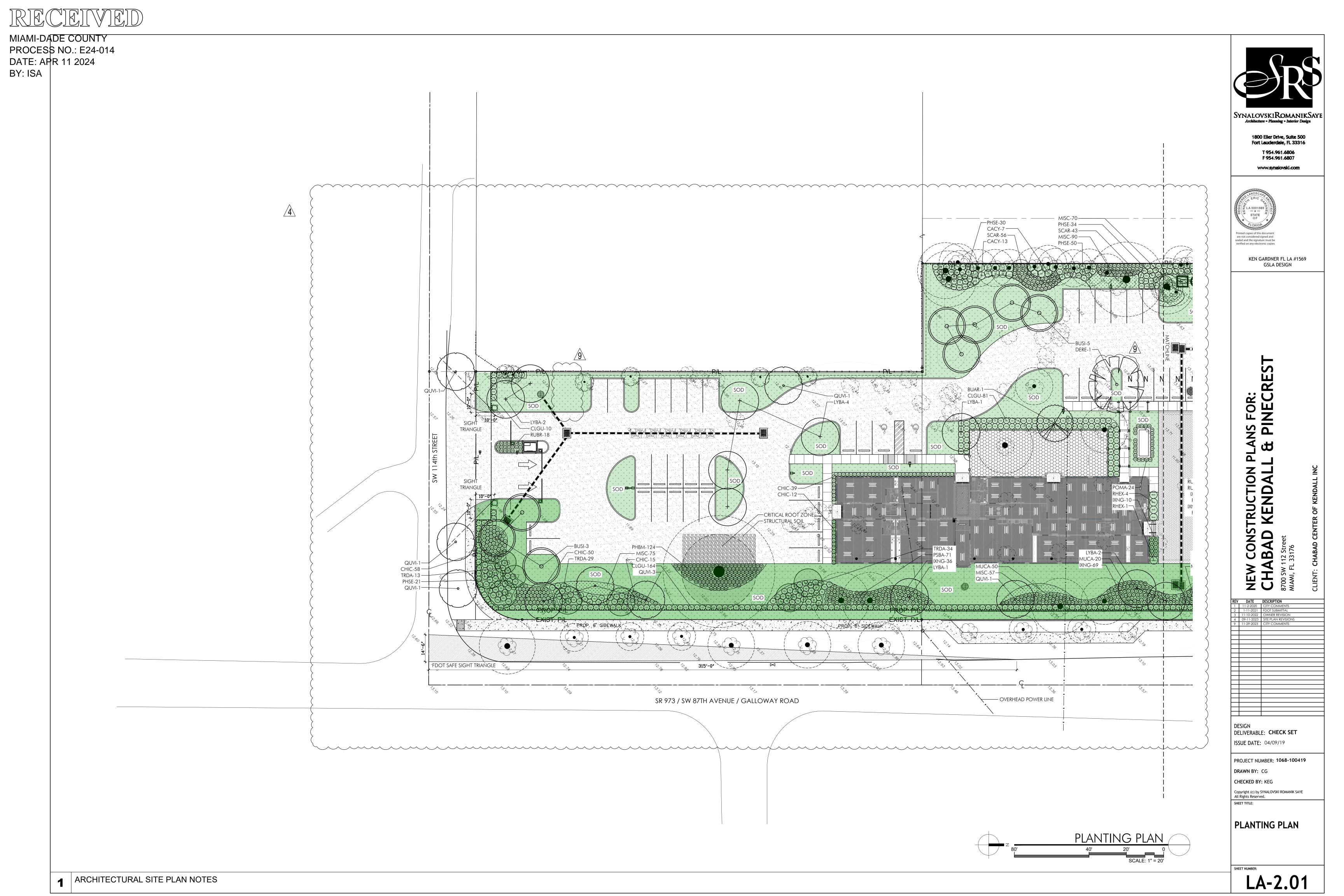
PAVING GRADING AND DRAINAGE DETAILS

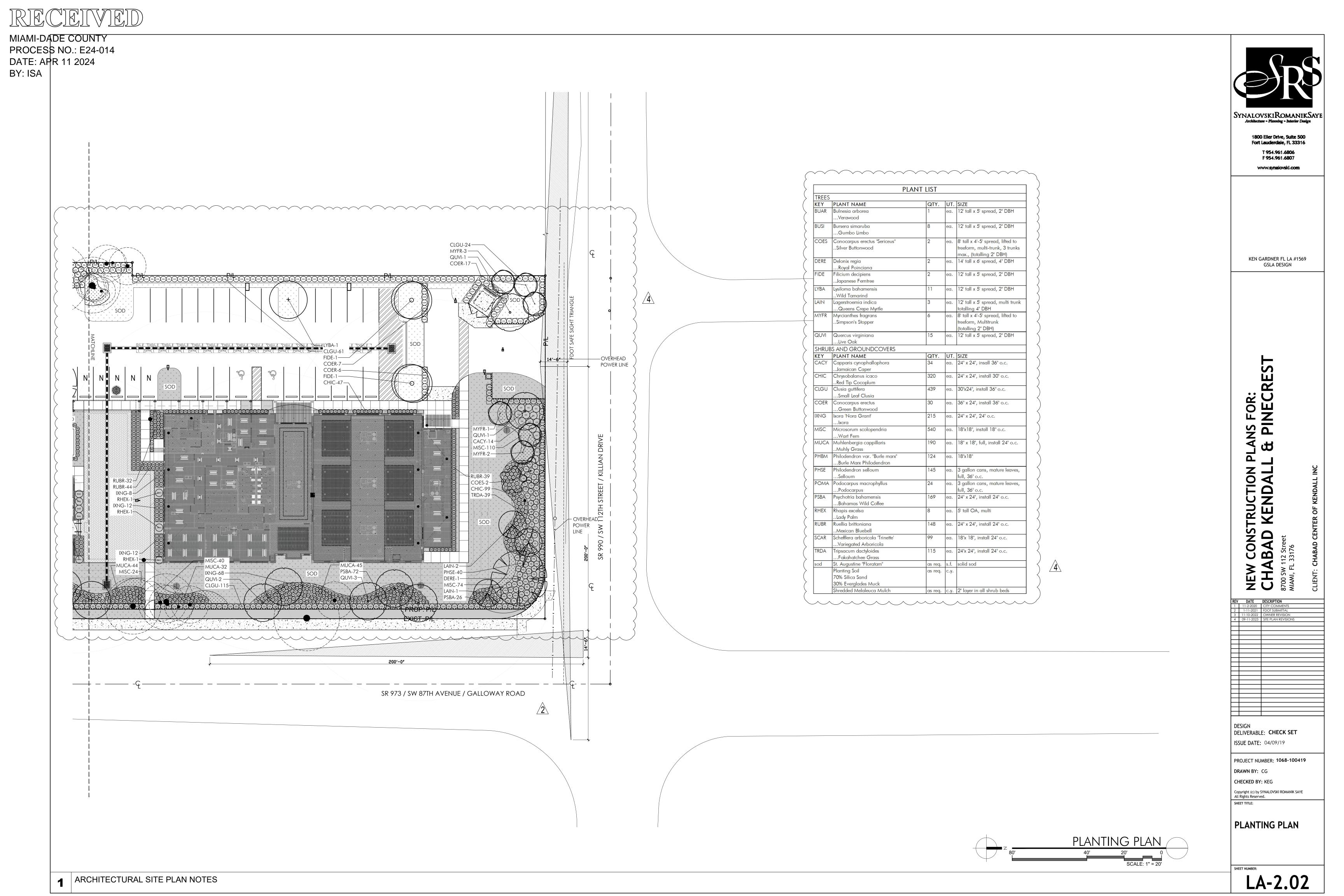
SHEET No. C - 2.2











DATE: APR A1 Port 2024 provide all labor, materials, equipment, supervision, and related work e the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which PART 3 - INSTALLATION PROCEDURES are a part of this document.

1.2 CONTRACTOR QUALIFICATIONS

A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in Miami-Dade County.

A. Prior to beginning work, the Contractor shall be responsible to locate existing

1.3 INVESTIGATION OF UTILITIES

underground utilities. Check with all utility companies and Sunshine State, call (811).

1.4 SUBSTITUTIONS A. Only materials specified will be accepted, unless approved in writing by the Landscape

Architect in advance.

A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When utilities or improvements. plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

1.6 PLANT QUALITY

A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.

B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.

C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.

1.7 PLANT QUANTITY

A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.

1.8 UNIT PRICES

1.9 SUBMITTALS

A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.

A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed soil around the root ball. at the rates specified in section 2.2 FERTILIZER.

B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. Ft.) for approval by the Landscape Architect prior to delivery to the site.

1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.

B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.

C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.

1.11 MAINTENANCE PRIOR TO ACCEPTANCE A. The Contractor is responsible to maintain the plantings until they are accepted under the

provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until all plant installation is complete and accepted. Maintenance 4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after shall include watering all plants, weeding, mulching, pest and disease control, tightening and spreading. repairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant saucer, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.

2. Turf Areas: Begin maintenance of turf immediately following the placement of sod and continue until sod installation is complete and accepted. Maintenance shall include but not be limited to, watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery

The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours. 1.12 ACCEPTANCE OF INSTALLATION

3. Re-setting or straightening trees and palms:

A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the Λ conclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date. 1.13 GUARANTEE

A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.

1.14 REPLACEMENT A. Replacement shall be made during the guarantee period as directed by the Landscape

Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect

PART 2 - MATERIALS

2.1 PLANTING SOIL A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.

B. Soil for Sodded Areas: shall be coarse lawn sand.

A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.

2.2 FERTILIZER

A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

2.4 MULCH

A. Mulch shall be shredded Melaleuca mulch (Florimulch) as manufactured by Forestry Resources, Inc., or equal.

2.5 ROOT BARRIER MATERIAL A. Root barrier material shall be 24" deep polypropolylene panels by DeepRoot or approved equal.

B. Install per details in the plans.

3.1 LAYOUT A. Verify location of all underground utilities and obstructions prior to excavation

3.2 HERBICIDE TREATMENT

A. In all areas infected with weed and/or grass growth, a systemic herbicide, such as Roundup, shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.

3.3 PLANT PIT EXCAVATION AND BACKFILLING A. Trees: See the Planting and Bracing Details and notes.

B. All planting holes shall be hand dug where machine dug holes may adversely affect

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curb and pavements as shown in the plans.

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

3.4 WATERING

A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

AMOUNT OF WATER PER APPLICATION For trees up to 5 inch caliper - 5 gallons From 5 to 8 inch caliper - 25 gallons 9 inch and up caliper - 50 gallons

FREQUENCY OF WATER Daily for the first week

3 times per week for weeks 2 - 5 2 times per week for weeks 6 - 8 1 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the

C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrub, sod, and groundcover for the time specified above, after installation of each section of the planting installed.

3.5 FERTILIZING

A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the

1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.

2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.

3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and ver beds, depth measured atter settling, unless otherwise specitied in th plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.

3.7 GUYING AND BRACING A. See the details bound herewith or made part of the plans.

3.8 SODDING

A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.

. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.

D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two

inches below the bottom of sod strips. E. Apply fertilizer to the sod as specified in Section 3.5.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod

PLANT BED PREPARATION NOTES

1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with Round-up prior to beginning soil preparation.

2. In all shrub and groundcover beds, prepare soil as described for either condition, over the entire area to be planted:

If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before

Condition B:

Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil into the existing soil to a depth of 18 inches. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inchs in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.

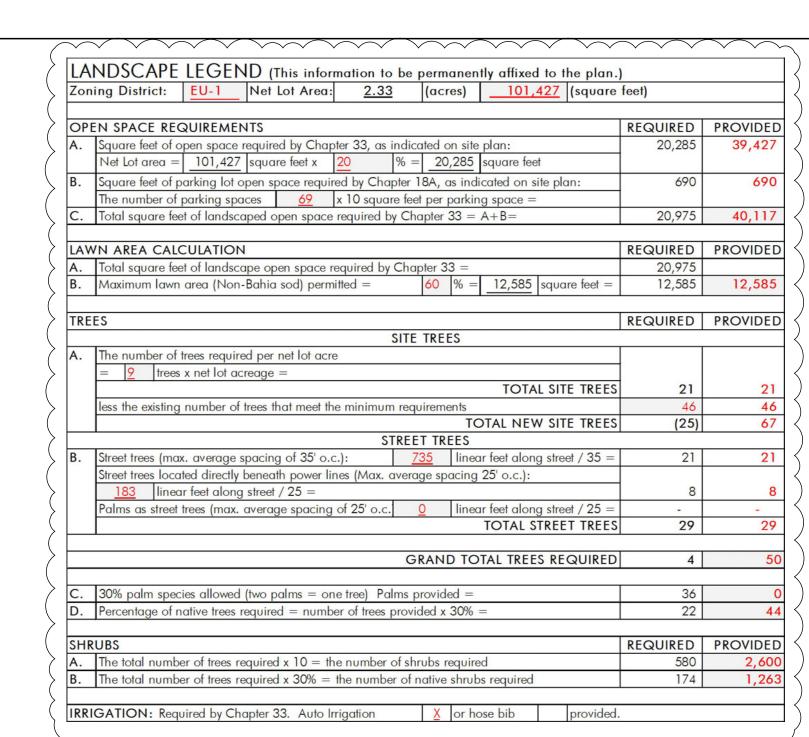
For Trees and shrubs larger than 7 gallon, Add Diehard" transplant innoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inches of trunk caliper or 7 gallon

SPACING OF PLANTS (SEE PLANT SPACING DETAIL)

1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

PROTECTION OF PLANTS

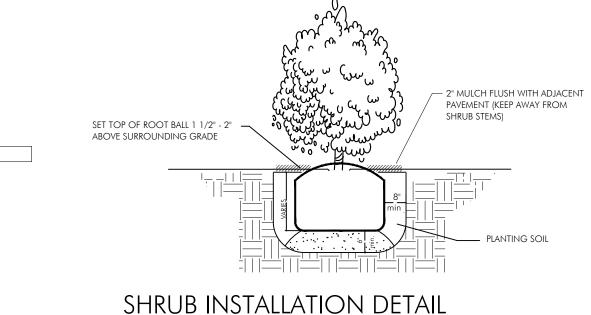
1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

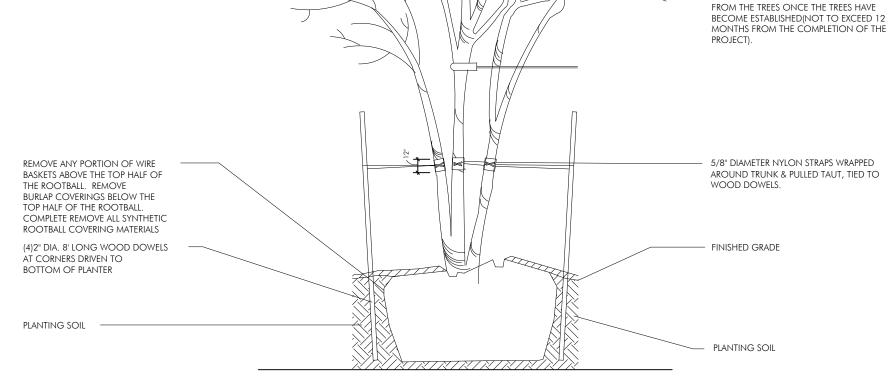


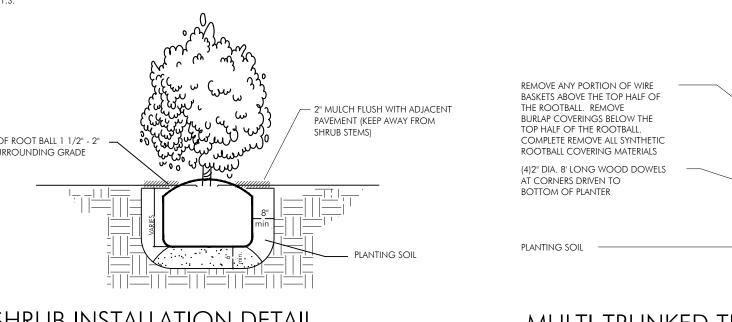
SYMBO	L USED (ON PLAN	PLANT	NAME	NATIV	E SPECIES	HE	IGHT	CANOPY DIAMETER	QUANTITY
Symbol	New	Existing	Scientific	Common	Yes	No		Estimated at maturity*	Estimated at maturity*	
BUAR	1		Bulnesia arborea	Verawood		X	12'	20'	20'	1
BUSI	8		Bursera simaruba	Gumbo Limbo	Х		12'	30'	30'	8
COES	2		Conocarpus erectus "Sericeus"	Silver Buttonwood	X		8'	20'	20'	2
DERE	2		Delonix regia	Royal Poinciana	X		14'	30'	30'	2
FIDE	2		Felicium decipiens	Japenese Fern Tree		X	12'	20'	20'	2
LYBA	11		Lysiloma bahamensis	Wild Tamarind	X		12'	20'	20'	11
MYFR	6		Myrcianthes fragrans	Simpson Stopper	X		8'	12'	12'	6
LAIN	3		Lagerstroemia indica	Queens Crepe Myrtle		X	10'	15'	15'	3
QUVI	15		Quercus virginiana	Live Oak	X		12'	50'	50'	15
									TOTAL	50

DISTANCE VARIES FOR EACH SPECIES SPACING WALL, CURB, EDGE OF PAVEMENT, OR EDGE OF BED TREE TRUNK 18" FOR 12"-18" o.c. SPACED SHRUBS 3' FOR 36"-48" o.c. SPACED SHRUBS -EDGE OF PAVEMENT SHRUB SPACING DIAGRAM PLAN VIEW N.T.S.

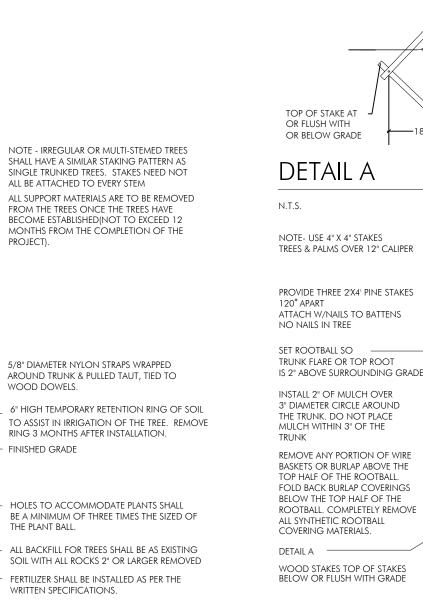
T EDGE OF PAVEMENT

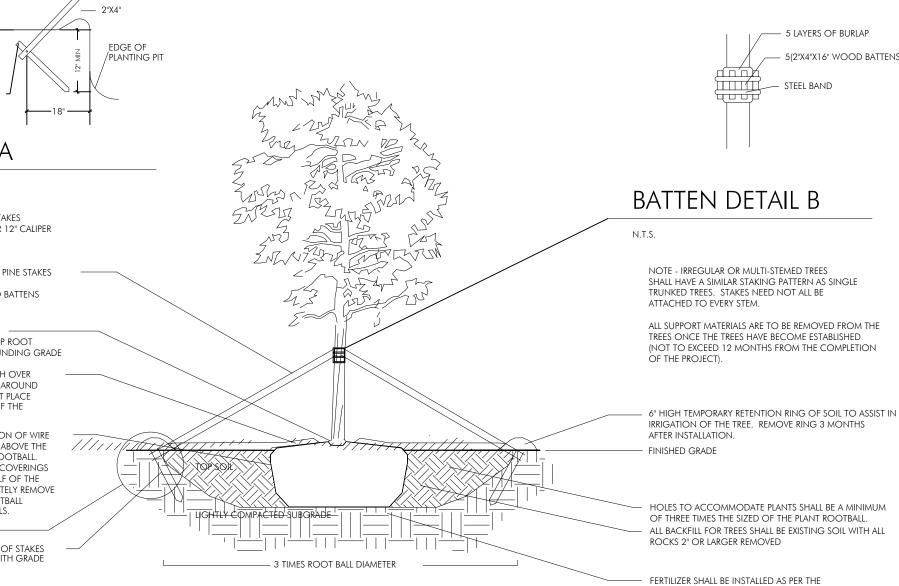






MULTI-TRUNKED TREE BRACING DETAIL





PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER

Z 0 < Z X E AD O U M

NECRE

OR

NOTE - IRREGULAR OR MULTI-STEMED TREES

INGLE TRUNKED TREES. STAKES NEED NOT ALL BE ATTACHED TO EVERY STEM

ALL SUPPORT MATERIALS ARE TO BE REMOVED

SHALL HAVE A SIMILAR STAKING PATTERN AS

Synalovski Romanik Saye

1800 Eller Drive, Suite 500

Fort Lauderdale, FL 33316

T 954.961.6806

F 954.961.6807

www.synalovski.com

KEN GARDNER FL LA #1569

GSLA DESIGN

DRAWN BY: CG CHECKED BY: KEG Copyright (c) by SYNALOVSKI ROMANIK SAYE

PLANTING NOTES

ARCHITECTURAL SITE PLAN NOTES

PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.

CURB

N.T.S.

SET ROOTBALL SO

TRUNK FLARE OR TOP ROOT

INSTALL 2" OF MULCH OVER —

3" DIAMETER CIRCLE AROUND

REMOVE ANY PORTION OF WIRE -

BASKETS ABOVE THE TOP HALF OF

BURLAP COVERINGS BELOW THE

COMPLETE REMOVE ALL SYNTHETIC

(2)2" DIA. 8' LONG WOOD DOWELS 4

ROOTBALL COVERING MATERIALS

120°APART DRIVEN THROUGH

BOTTOM OF PLANTING PIT

TOP HALF OF THE ROOTBALL.

THE TRUNK. DO NOT PLACE MULCH WITHIN 3" OF THE

THE ROOTBALL. REMOVE

IS 2" ABOVE SURROUNDING GRADE

ROOT BARRIER

When trees are to be installed CLOSER

THAN 8 FT. from edge of walks or curbs,

install a root barrier. The root barrier shall

extend a minimum of 15 ft. from the edge

of the trunk in either direction.

ROOT BARRIER INSTALLATION DETAIL

3 TIMES ROOT BALL DIAMETER

FINISHED GRADE

N.T.S.

SHEET TITLE: WRITTEN SPECIFICATIONS

AND SPECS

DELIVERABLE: CHECK SET **ISSUE DATE:** 04/09/19

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